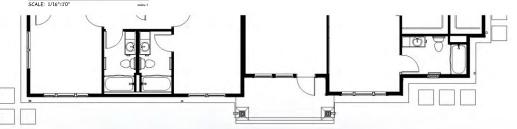


12-13-2018

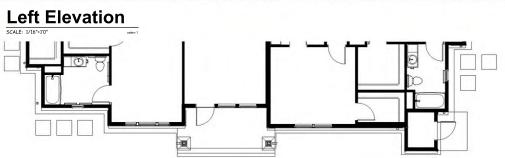




Right Elevation







Z30 BUILDING 12-13-2018



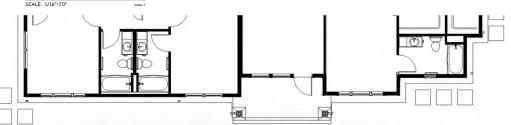


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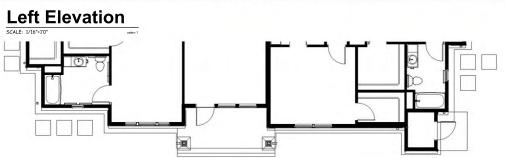




Right Elevation







Z30 BUILDING 12-13-2018





TWO-STORY BUILDING / SCHEME A / BUILDINGS 2 AND 4

12-13-2018

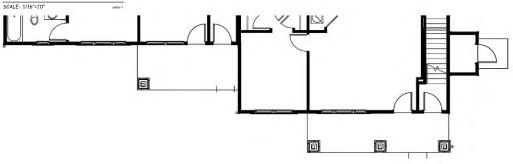




Right Elevation SCALE: 1/16'=10"



Left Elevation



BUILDING G24







TWO-STORY BUILDING / SCHEME B / BUILDING 3

12-13-2018

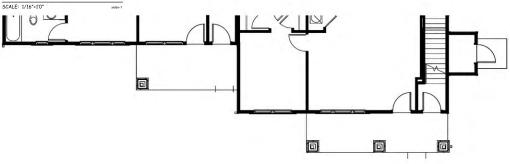




Right Elevation SCALE: 1/16'=10"



Left Elevation

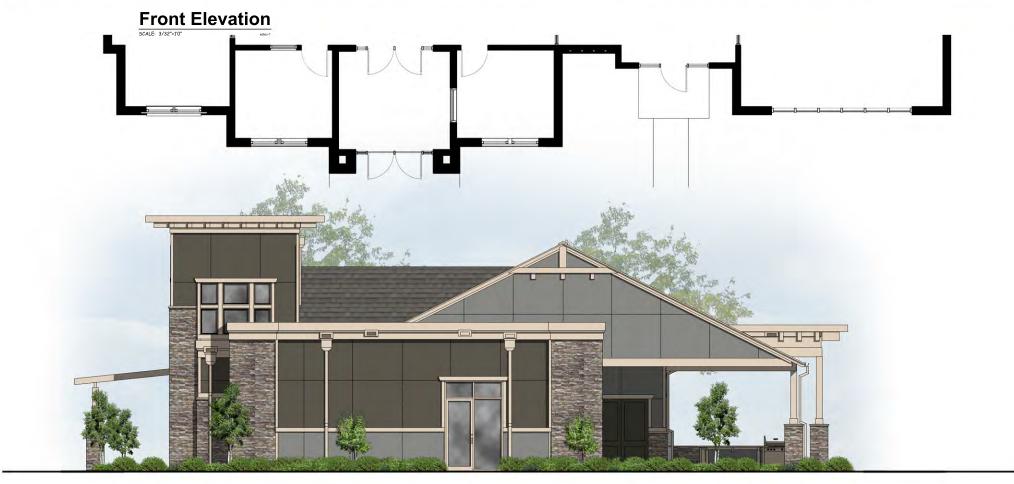


BUILDING G24











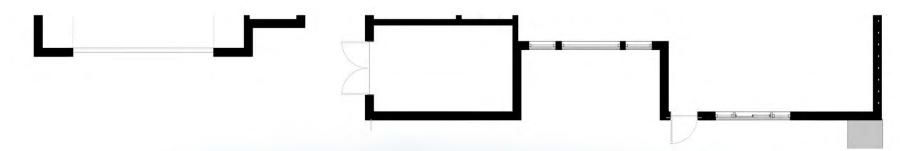
CLUBHOUSE

4340 SQ FT 12-13-2018





Rear Elevation SCALE: 3/32*=10" ANNOT





Left Elevation SCALE: 3/32"=1"0" Nation-1



CLUBHOUSE

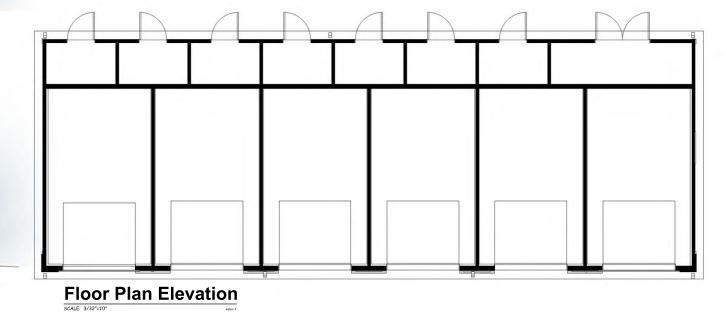
4340 SQ FT 12-13-2018















6GS-2 GARAGE 12-13-2018





Rear Elevation
SCALE: 3/32"=10" xxter-1

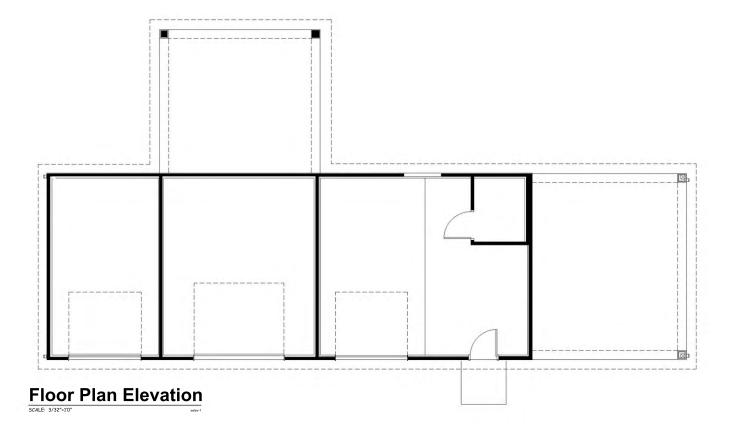


Front Elevation
SCALE: 3/32"=10" solve-1





Rear Elevation
SCALE: 3/32°=10°
sebe-1



MAINTENANCE BUILDING

12-13-2018





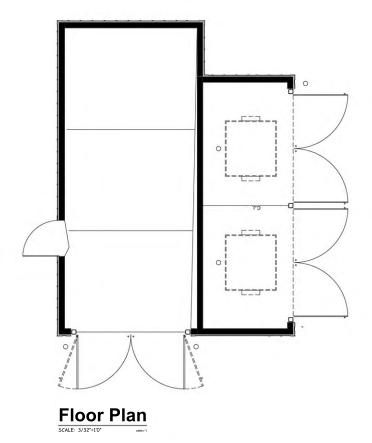
Front Elevation SCALE: 3/32°=10° Meter-1



Left Elevation
SCALE: 3/32*=10*

Right Elevation
SCALE: 3/32*=10*





TRASH ENCLOSURE

12-13-2018



SITE LOCATION—

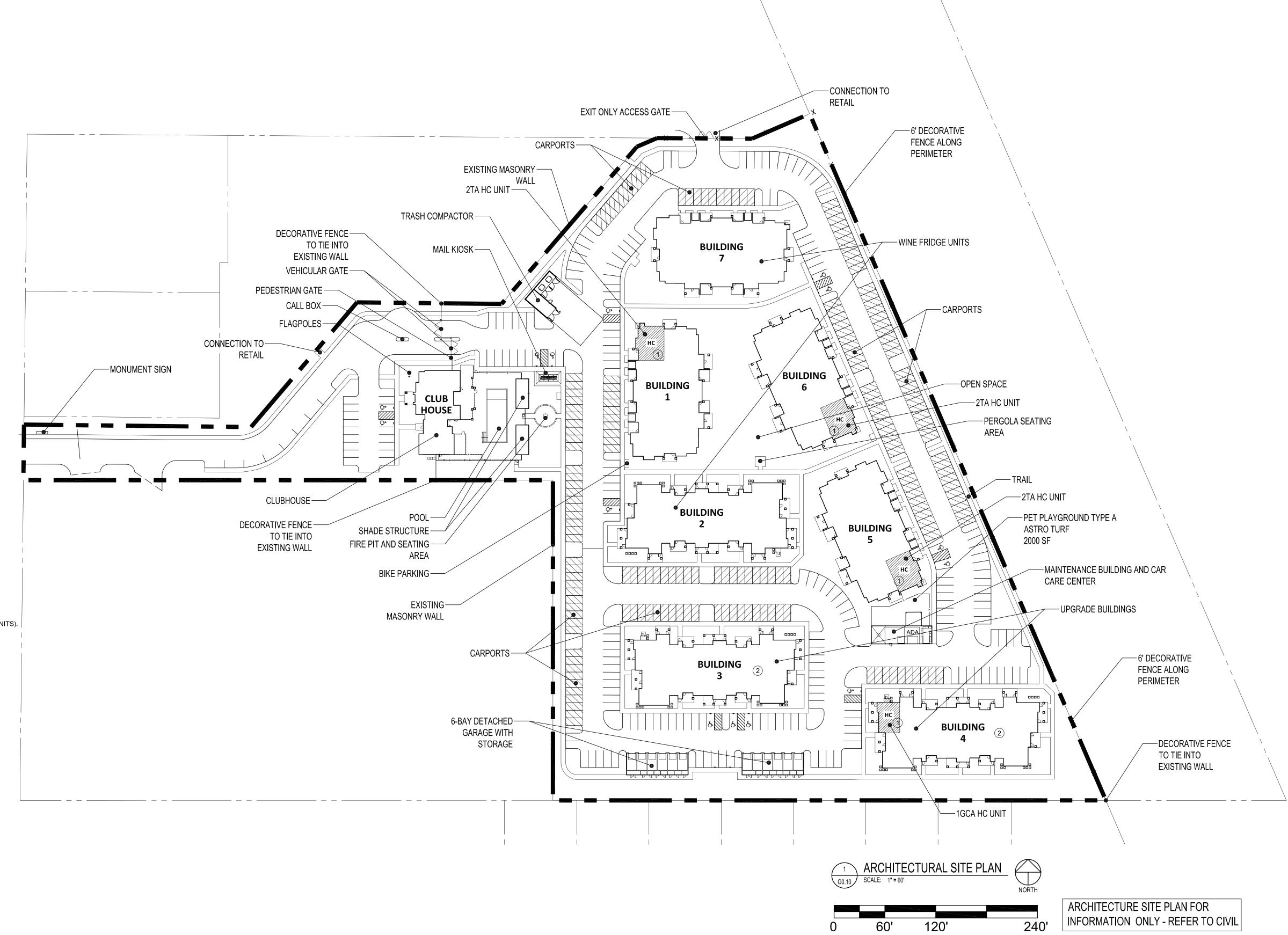


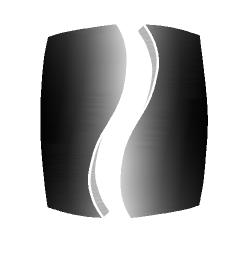


BUILDING A	AREA MATRIX	
BUILDING	BUILDING TYPE	BUILDING
NUMBER		AREA (SQ FT)
1	BUILDING TYPE Z30	34,731
2	BUILDING TYPE G24E	24,458
3	BUILDING TYPE G24E	24,458
4	BUILDING TYPE G24E	24,458
5	BUILDING TYPE Z30	34,731
6	BUILDING TYPE Z30	34,731
7	BUILDING TYPE Z30	34,731
	MAINTENANCE / FHA GARAGE	1,505
	GARAGE 6GS (6 BAY w/	
	STORGE)	1,834
	TRASH ENCLOSURE	854
	CLUBHOUSE	4,332
	MAIL KIOSK	72
TOTAL		
BUILDING		
AREA		220,895

RESIDE	NTIAL UNIT I	MATRIX				
UNIT TYPE	BEDRM QTY.	BATHRM QTY.	COND. SQFT	BLDG TYPE G24E UNIT QTY.	BLDG TYPE Z30E UNIT QTY.	TOTAI UNITS
1DC*	1	1	761	6		
1DO	1	1	830	6		
1GC*	1	1	780	5		
1GCA**	1	1	780	1		
1GO	1	1	855	6		
2DC	2	2	1054	3		
2DO	2	2	1123	3		
2GC*	2	2	1029	12		
2GO	2	2	1106	12		
3GC*	3	2	1279	3		
3GO	3	2	1346	3		
S1*	1 (STUDIO)	1	518	6		
SO	1 (STUDIO)	1	585	6		
1T*	1	1	839		36	;
2T*	2	2	1164		24	
2TA**	2	2	1164		3	
3T*	3	2	1376		12	
G*	1 (STUDIO)	1	605		6	
GU	1 (STUDIO)	1	605		16	
TOTALS			16589	72	75	1.

- * ALL GROUND FLOOR UNITS TO COMPLY WITH THE FAIR HOUSING ACT (FHA UNITS).
- (8) UNITS (2% OF TOTAL UNITS) TO COMPLY WITH 1107.6.2.1 (ADA UNITS):
 (2) 1GCA, (4) 2DCA, AND (2) 3GCA. SEE SITE PLAN FOR LOCATIONS
 2% OF RESIDENTIAL UNITS SHALL PROVIDE COMMUNICATION FEATURES
 COMPLYING WITH 233.4.1/809.5 (2010 ADA/GA ACCESSIBILITY CODE)
 - (1) ADA UNITS
 - 2 UPGRADE BUILDINGS





PHILLIPS

CONSULTANT -

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DATE DESCRIPTION
11/29/18 DBR SET

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PROJECT

C452 FUND PROJECT

MESA, AZ

CONTINENTAL

CLIENT -

CONTINENTAL 452 FUND W134 N8675 EXECUTIVE PARKWAY MENOMONEE FALLS, WI 53052

PHILLIPS JOB NUMBER ————

ISSUE DATE 11/29/18
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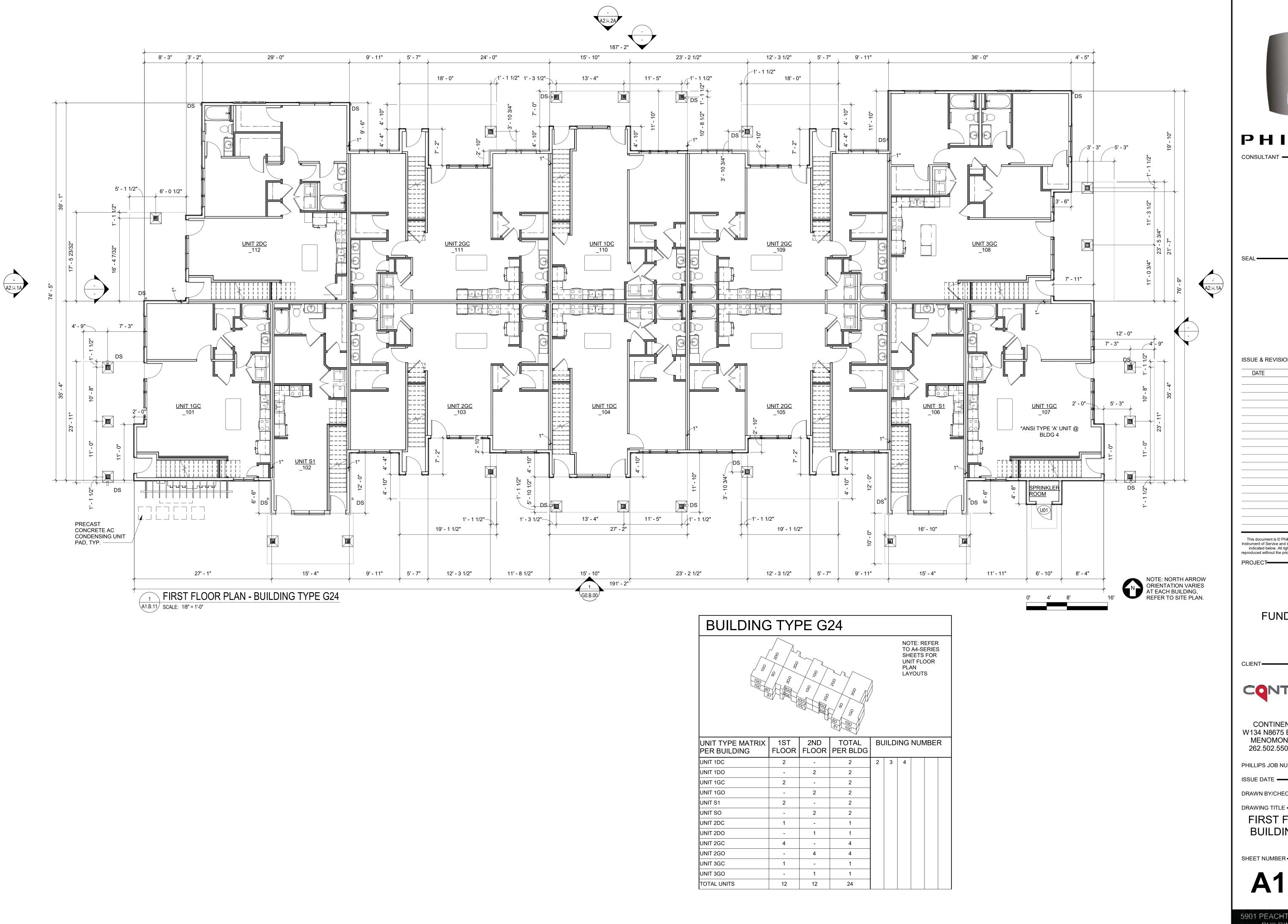
262.502.5500 * FAX 262.502.5522

DRAWN BY/CHECKED BY CC/MT
DRAWING TITLE

ARCHITECTURAL SITE PLAN

G0.10

SHEET NUMBER -





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MESA, AZ



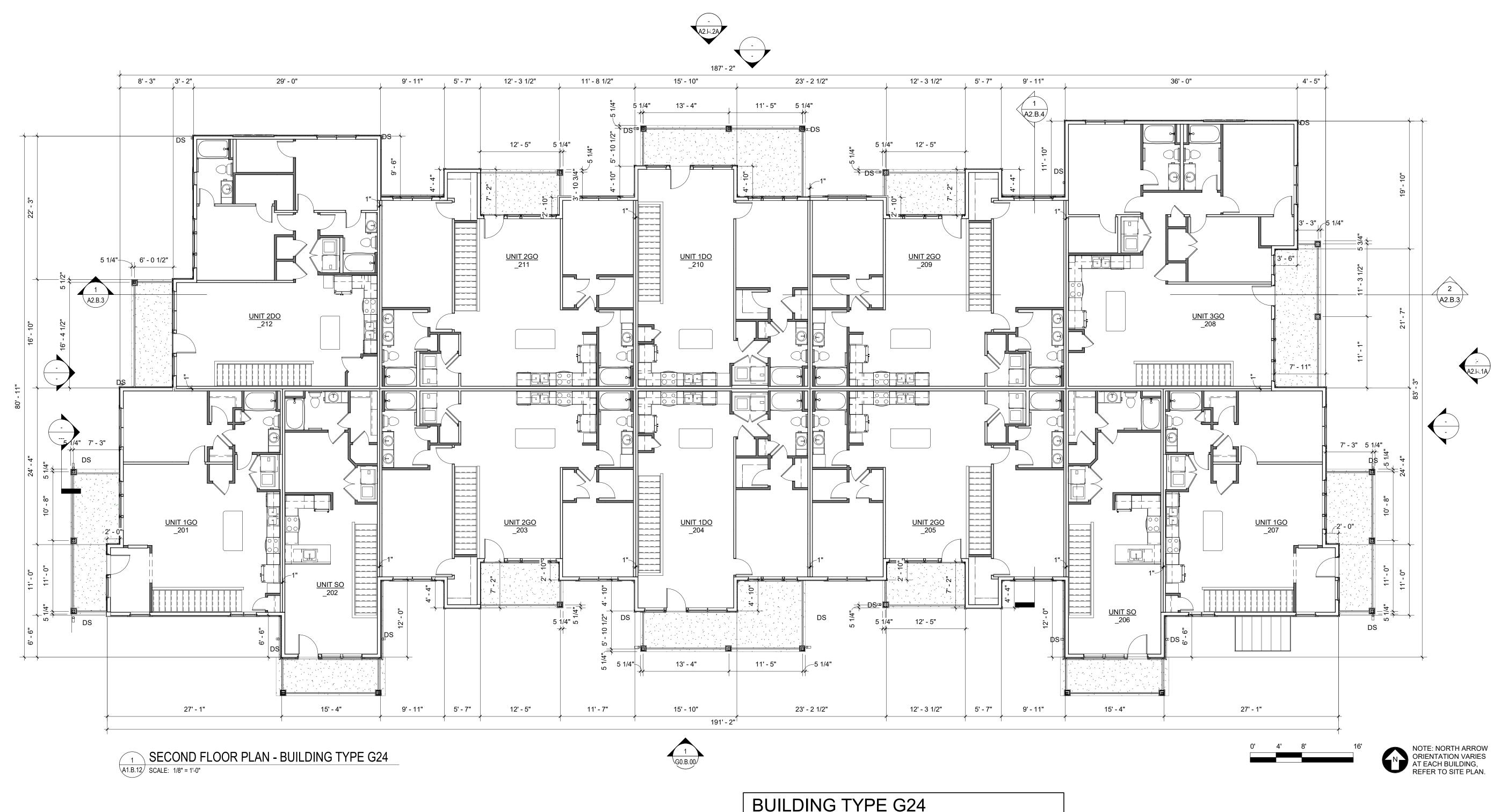
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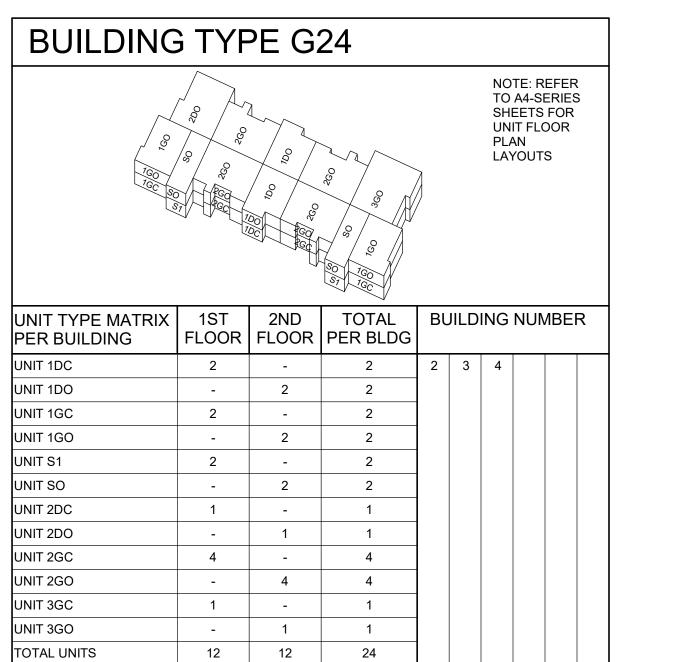
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	18331
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DRAWING TITLE	SR/CC/N
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FIRST FLOOR PLAN -**BUILDING TYPE G24**

SHEET NUMBER -

A1.B.11







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C452
FUND PROJECT

MESA, AZ



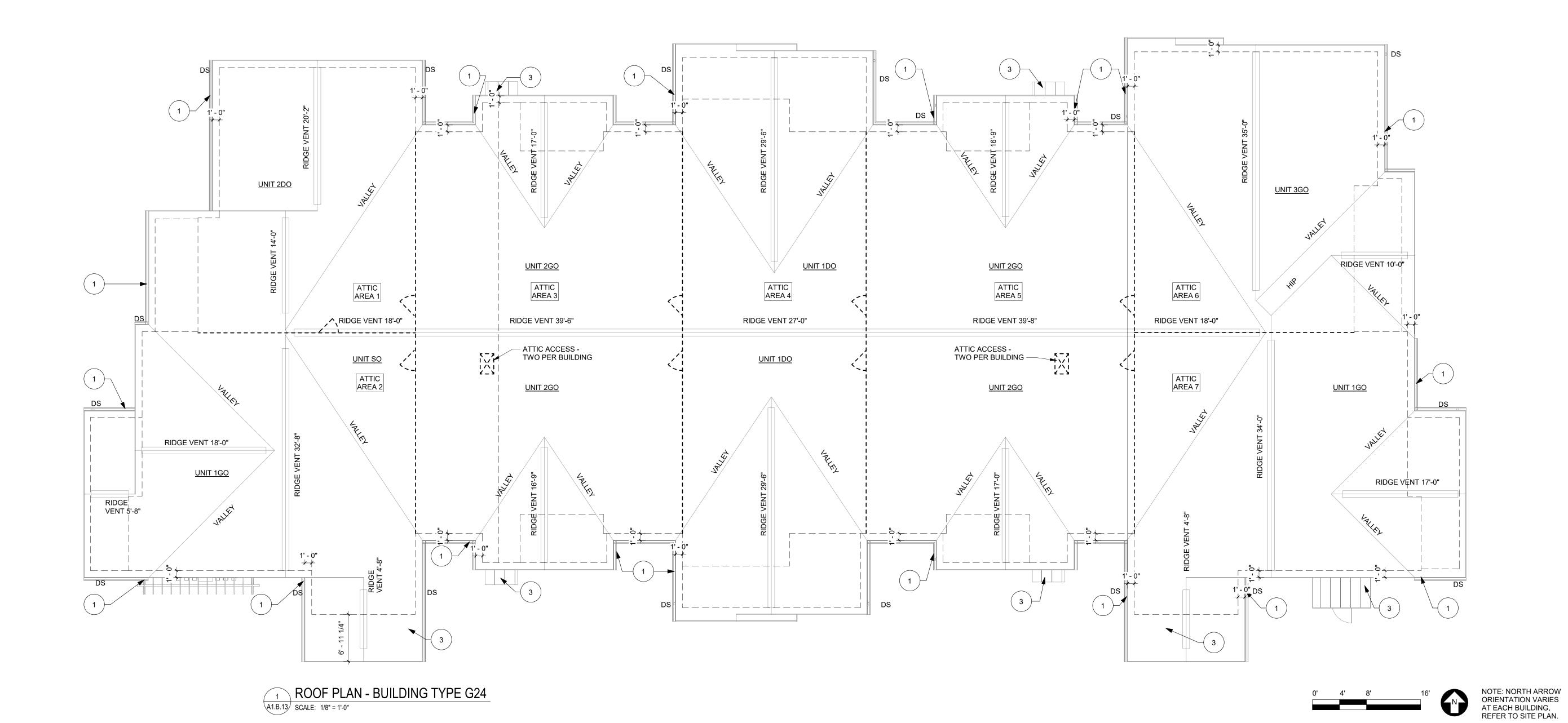
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PHILLIPS JOB NUMBER	
ISSUE DATE	18331
DRAWN BY/CHECKED BY	11/29/
DRAWING TITLE	CC / N
DRAWING TITLE	

SECOND FLOOR PLAN -BUILDING TYPE G24

SHEET NUMBER -

A1.B.12



ROOF NOTES	ROOF LEGEND		
1. <u>GUTTER 1:</u> TYPICAL GUTTER TO BE 6" PRE-FINISHED ALUMINUM w/ DRIP EDGE. SEE BUILDING ASSEMBLIES AND COMPONENTS	DS	DOWNSPOUT - 3x4 PRE-FINISHED ALUMINUM. TIE INTO STORM SYSTEM	
LEGEND ON WALL SECTION SHEETS FOR ADDITIONAL INFORMATION. 2. PROVIDE OPENINGS IN ROOF SHEATHING AS REQUIRED AT ALL OVER FRAMED GABLES TO ALLOW FOR ATTIC VENTILATION TO RIDGE VENT.	ORMATION. ROVIDE OPENINGS IN ROOF SHEATHING AS REQUIRED AT OVER FRAMED GABLES TO ALLOW FOR ATTIC		
3. SNAP CLAD 22 GAUGE STANDING SEAM ROOF SYSTEM AT ENTRY AND DORMER, TYPICAL. COLOR: "GAVALUME" - PROVIDE SAMPLE FOR OWNER APPROVAL		DRAFTSTOPPING IN ATTIC AREA. REFER TO FIRE BLOCKING AND DRAFTSTOPPING NOTES ON SHEET G0.20 AND 2/A3.13 & 3/A3.13	
		22"x30" MIN. ACCESS DOOR INSTALLED VERTICALLY IN DRAFTSTOPPING w/ SELF CLOSING HINGES.	



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DATE	DESCRIPTION

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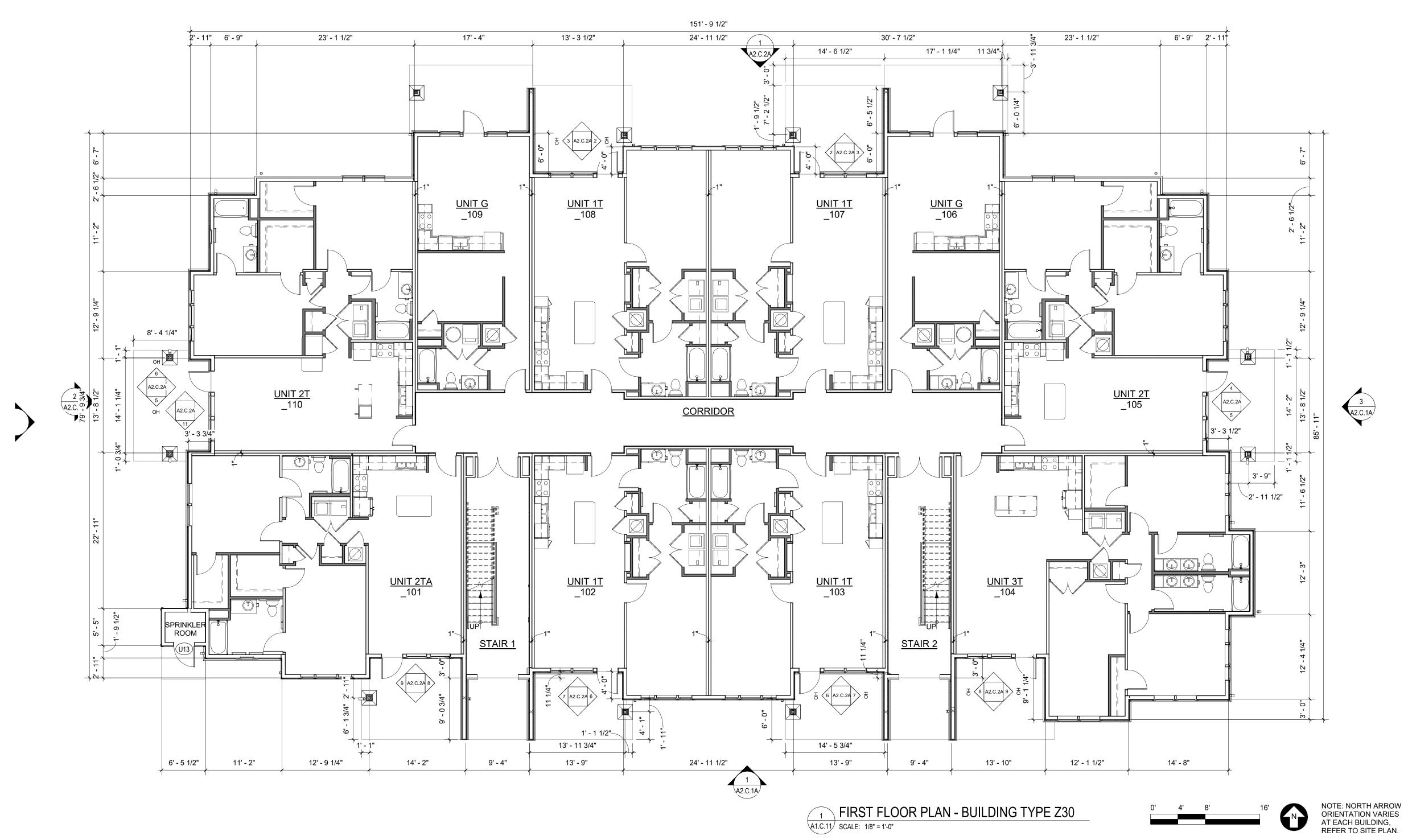
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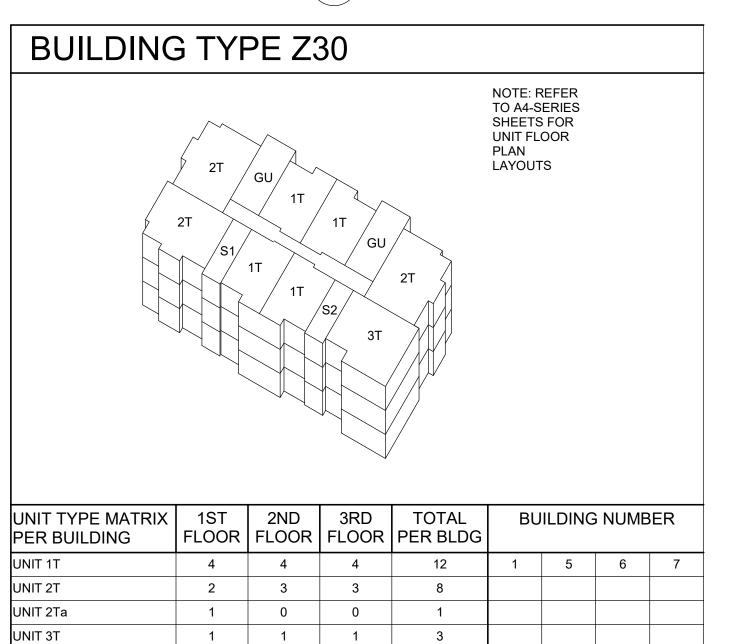
PHILLIPS JOB NUMBER	
ISSUE DATE	18331
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ROOF PLAN - BUILDING TYPE G24

SHEET NUMBER ----

A1.B.13





0

2

10

0

2

10

2

4

30

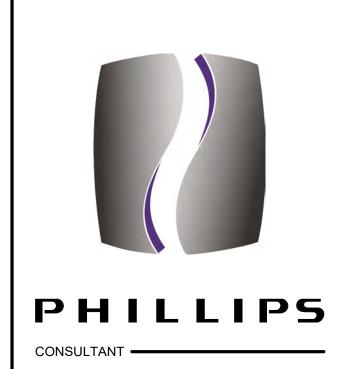
2

0

10

UNIT GU

TOTAL UNITS



DATE DESCRIPTION

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PHILLIPS JOB NUMBER

1833112
ISSUE DATE

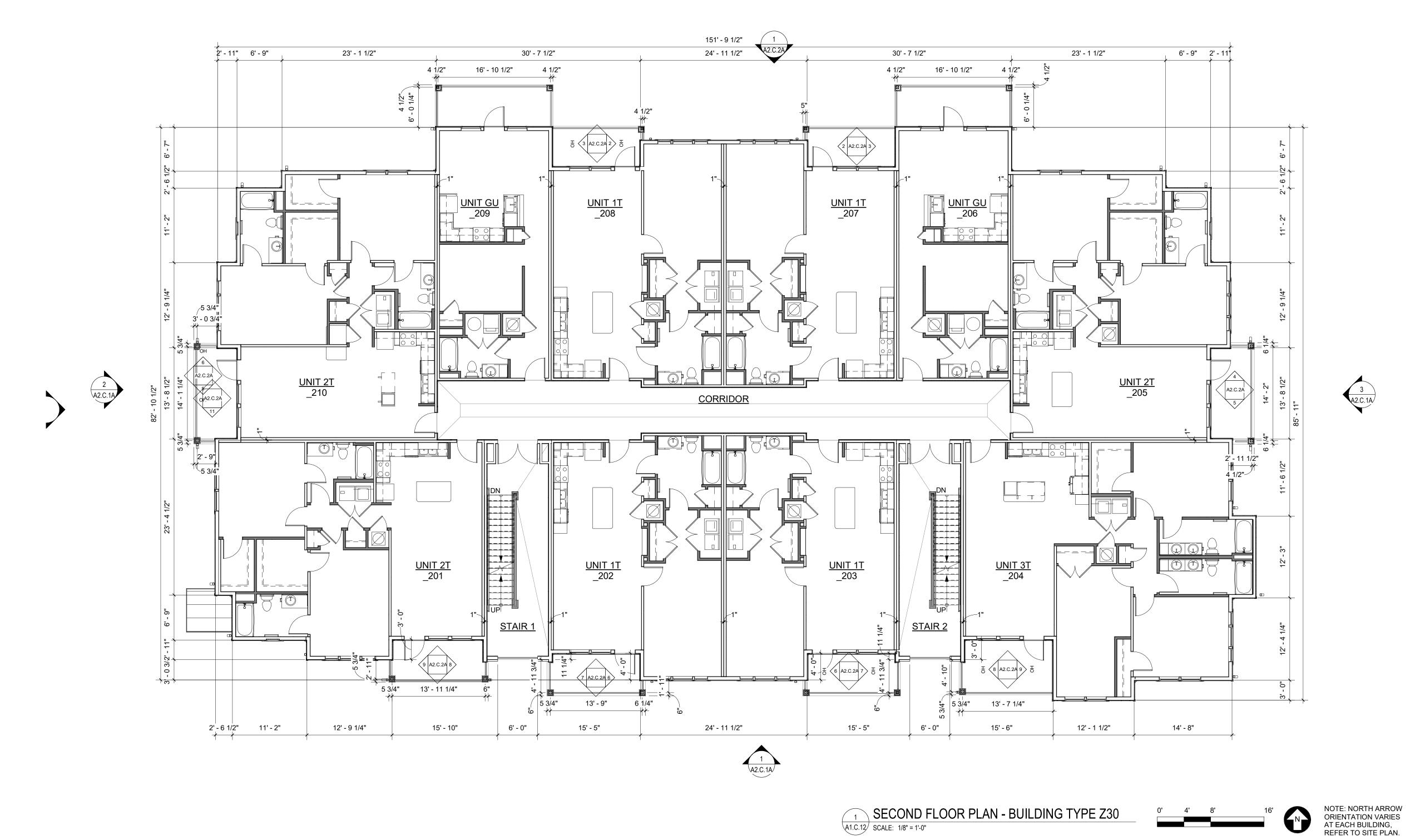
11/29/18
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CC / MT
DRAWING TITLE

FIRST FLOOR PLAN -BUILDING TYPE Z30

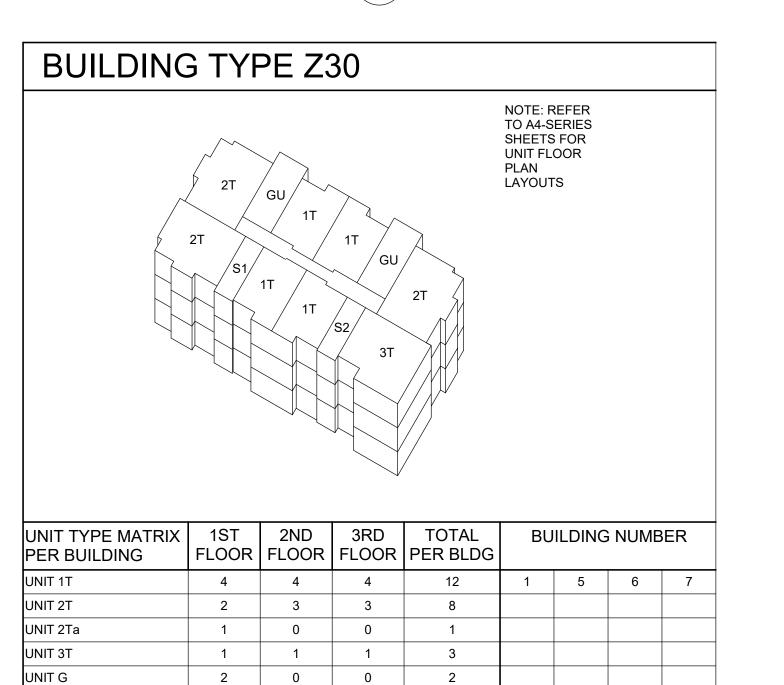
SHEET NUMBER -

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UNIT GU

TOTAL UNITS



2

10

10

2

10

4



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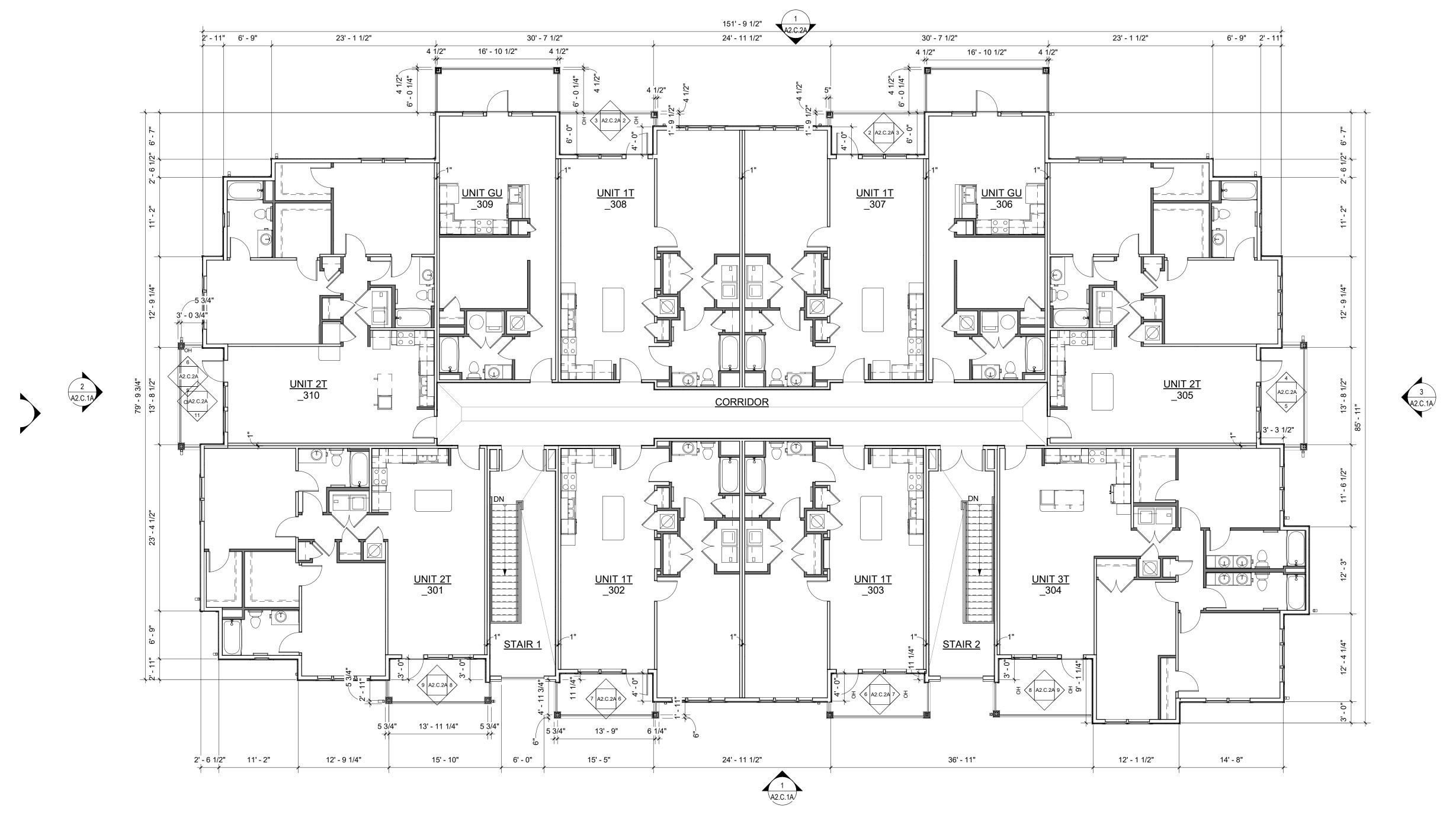
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ISSUE DATE	183311
DRAWN BY/CHECKED BY	06/23/1
DRAWING TITLE	DWH / M

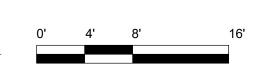
SECOND FLOOR PLAN -BUILDING TYPE Z30

SHEET NUMBER ----

A1.C.12









NOTE: NORTH ARROW ORIENTATION VARIES AT EACH BUILDING, REFER TO SITE PLAN.

CONTINENTAL	
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C452

FUND PROJECT

MESA, AZ

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CONTINENTAL 452 FUND LLC W134 N8675 EXECUTIVE PARKWAY MENOMONEE FALLS, WI 53052 262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER	
	183311
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DRAWN BT/CHECKED B	DWH / M

DRAWING TITLE —

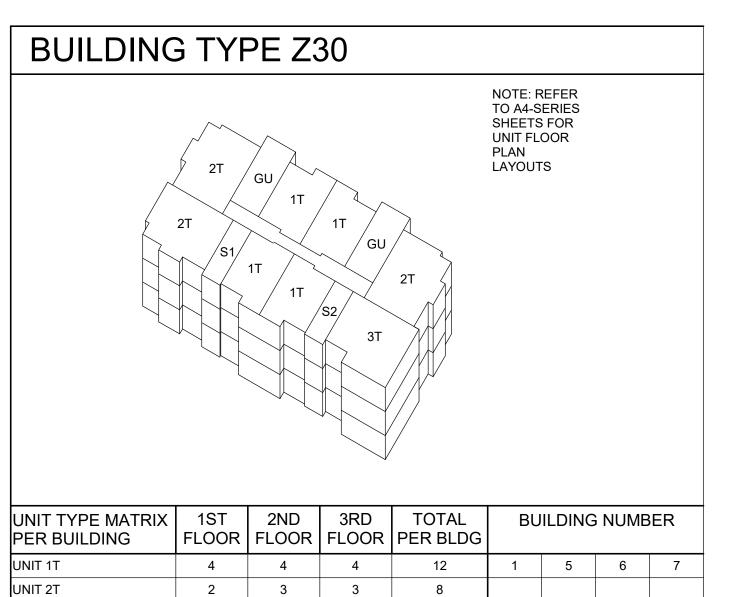
CLIENT-

THIRD FLOOR PLAN -BUILDING Z30

HEET NUMBER ----

A1.C.13

5901 PEACHTREE DUNWOODY RD.
BUILDING A. SUITE 450
ATLANTA. GEORGIA 30328
PHILLIPSPART.COM 770-394-1616



3

4

1

1

2

0

10

UNIT 3T

UNIT GU

TOTAL UNITS

0

0

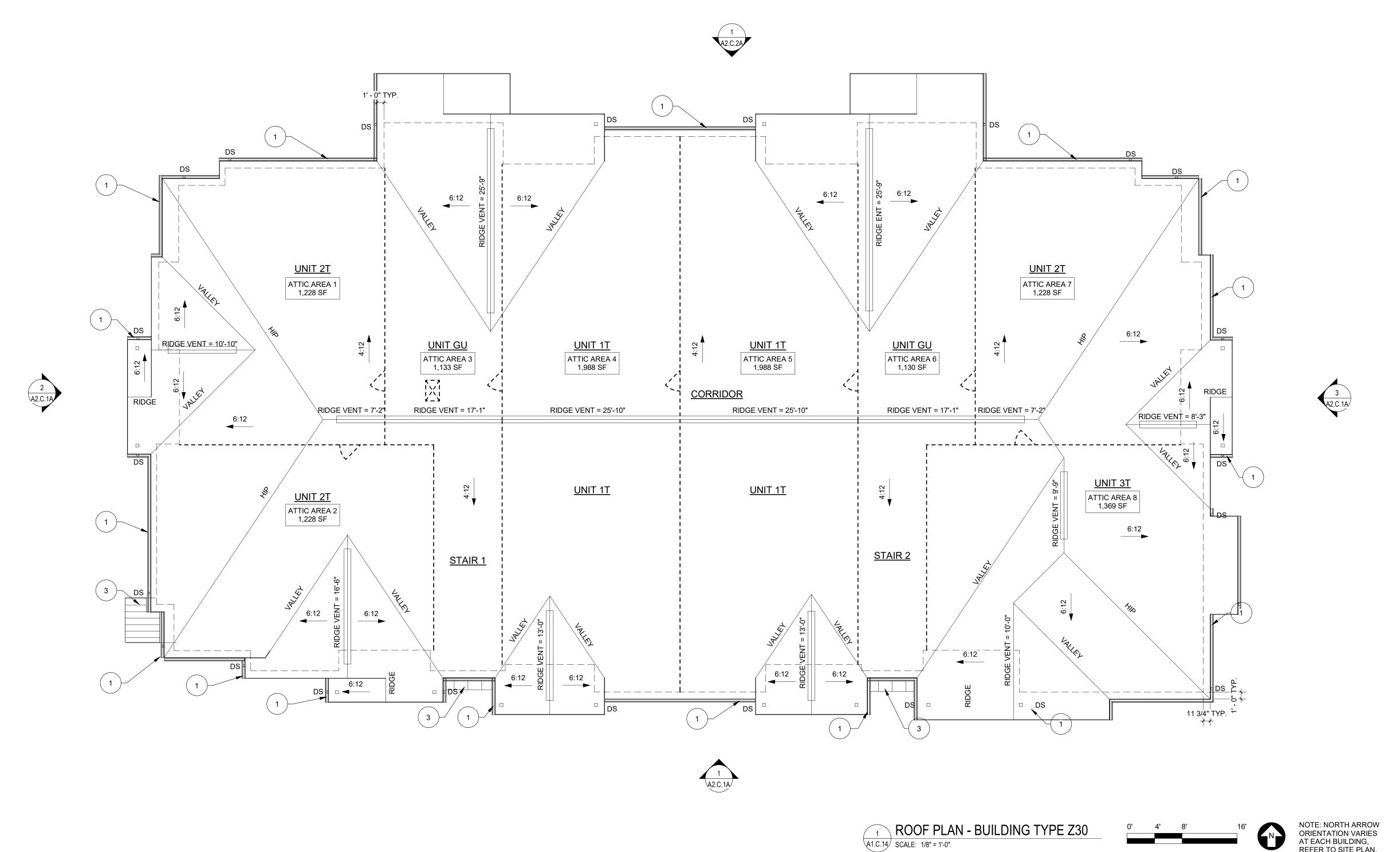
2

10

0

2

10



ROOF NOTES ROOF LEGEND 1. <u>GUTTER 1:</u>
TYPICAL GUTTER TO BE 6" PRE-FINISHED ALUMINUM w/ DRIP EDGE. SEE BUILDING ASSEMBLIES AND COMPONENTS DOWNSPOUT - 3x4 PRE-FINISHED ALUMINUM. TIE INTO STORM SYSTEM LEGEND ON WALL SECTION SHEETS FOR ADDITIONAL ATTIC ACCESS 22"x30" MIN. LOCKABLE, 1-INFORMATION. HOUR RATED, WEATHERS STRIPPED, 2. PROVIDE OPENINGS IN ROOF SHEATHING AS REQUIRED AT INSULATED TO R-38 PER IECC 2018 402.1.3. REFER TO DETAIL 16/A5.27 ALL OVER FRAMED GABLES TO ALLOW FOR ATTIC VENTILATION TO RIDGE VENT. 3. SNAP CLAD 22 GAUGE STANDING SEAM ROOF SYSTEM AT DRAFTSTOPPING IN ATTIC AREA. REFER TO FIRE BLOCKING AND DRAFTSTOPPING ----ENTRY AND DORMER, TYPICAL. COLOR: "GAVALUME" -PROVIDE SAMPLE FOR OWNER APPROVAL NOTES ON SHEET G0.20 AND 2/A3.13

> 22"x30" MIN. ACCESS DOOR INSTALLED VERTICALLY IN DRAFTSTOPPING w/ SELF

CLOSING HINGES.



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> C452 **FUND PROJECT**

REFER TO SITE PLAN.

MESA, AZ

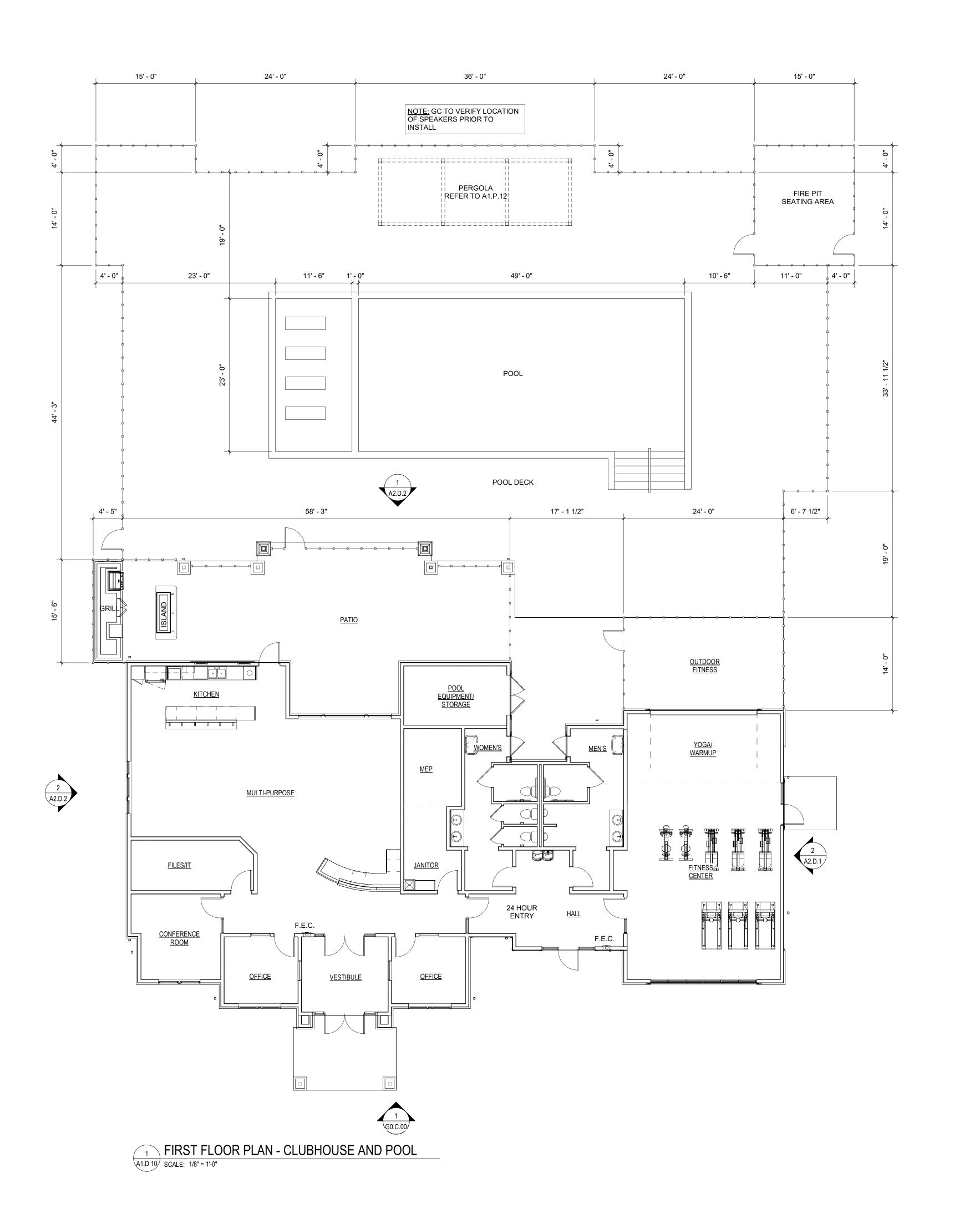


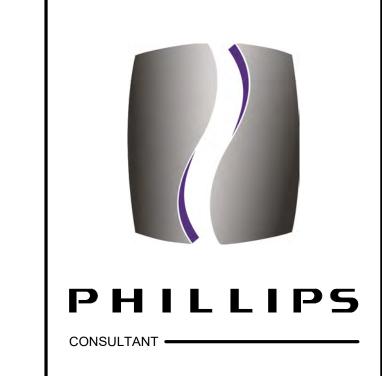
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PHILLIPS JOB NUMBER———	
	1833
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ROOF PLAN - BUILDING

SHEET NUMBER -





SEAL-		

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C452 FUND PROJECT

MESA, AZ

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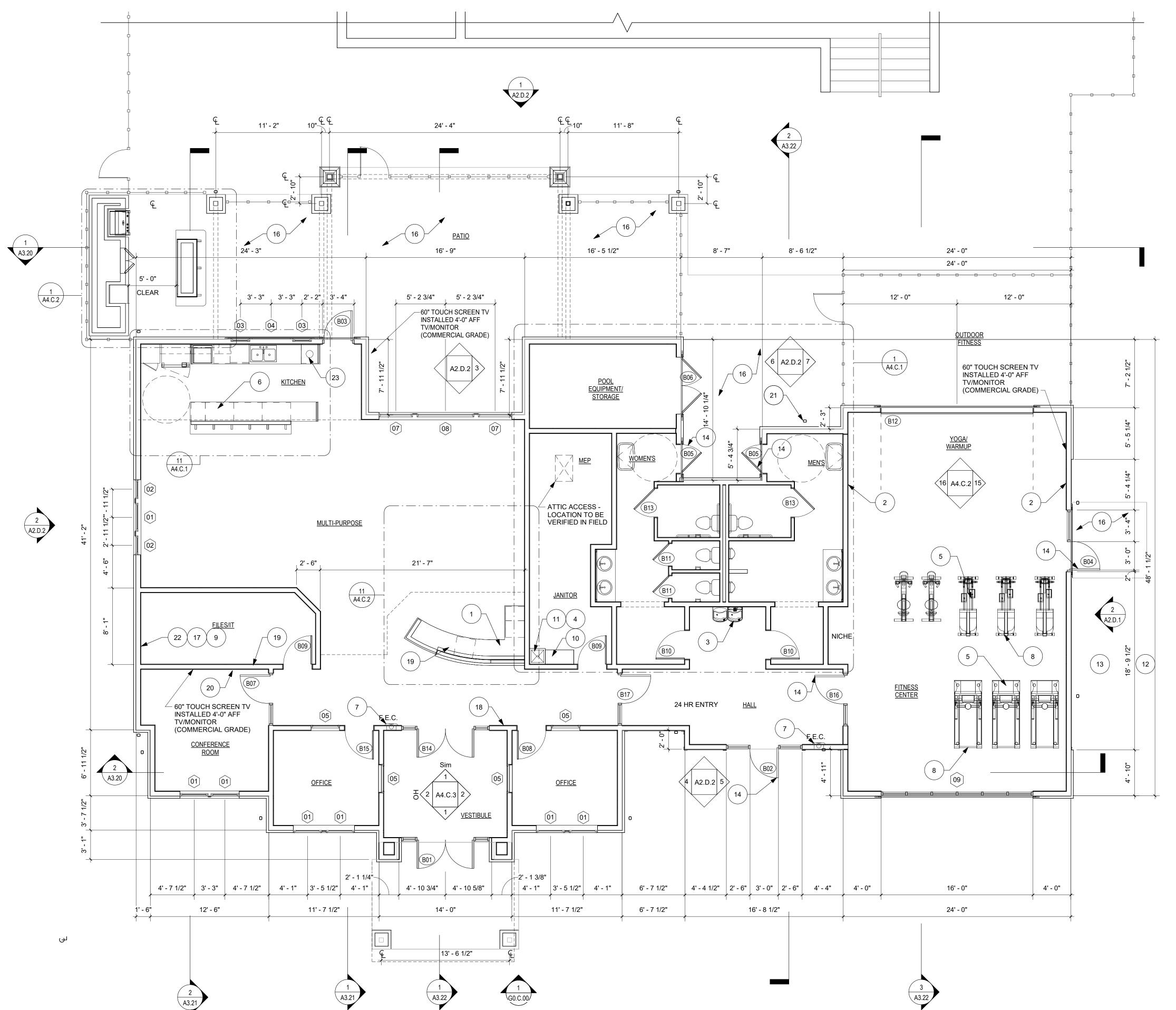
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PHILLIPS JOB NUMBER———	
ISSUE DATE	1833112
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DRAWING TITLE	

FIRST FLOOR PLAN -CLUBHOUSE AND POOL

SHEET NUMBER -

A1.D.10



FIRST FLOOR PLAN - CLUBHOUSE A1.D.11 SCALE: 3/16" = 1'-0"

GENERAL NOTES

. CONTRACTOR TO LOCATE METER BANK IN FIELD. LOCATE AT END OF BUILDING CLOSEST TO POWER COMPANY'S ELECTRICAL TRANSFORMER

2. FLOOR PLANS SHALL BE CONSTRUCTED PER IBC CHAPTER 11 ACCESSIBILITY REQUIREMENTS AND LOCAL ORDINANCES.

3. CONDENSER PADS ARE SHOWN AS GRAPHIC REPRESENTATION OF PAD LOCATION.

COORDINATE W/ MECHANICAL FOR FINAL LOCATION AND SPECS. 4. REFER TO MEP DRAWINGS FOR FIRE ALARM, PULL, CONTROL PANEL, SIGNALS, HORN

LOCATIONS, AND EXIT SIGNS.

5. CONSTRUCTION TO COMPLY WITH SECTION 1609 OF IBC. REFER TO STRUCTURAL DRAWINGS FOR FRAMING CONNECTION DETAILS.

6. PROVIDE R-13 SOUND INSULATION AT ALL BATHROOM PERIMETER WALLS.

7. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. IN THE EVENT OF A CONFLICT ARCHITECT BEFORE PROCEEDING.

8. REFER TO INTERIOR DESIGN DRAWINGS FOR FLOOR FINISH MATERIALS. (JOINTS BETWEEN DIFFERENT MATERIALS TO BE LEVEL/FLUSH U.N.O.)

9. <u>HEIGHT OF TABLES OR COUNTERS:</u> THE TOPS OF ACCESSIBLE TABLES AND COUNTERS SHALL BE FROM 28" TO 34" AFF

10. <u>KNEE CLEARANCES:</u> WHERE ADA SEATING IS PROVIDED AT TABLES OR COUNTERS, PROVIDE AT LEAST 27" HIGH, 30" WIDE AND 19" DEEP.

11. CEILING HEIGHT IN RESTROOMS IS 8'-6" AFF, TYP. SEE FLOOR PLAN FOR CEILING TRANSITION LOCATION,

12. TOILET FIXTURES AND ACCESSORIES (MODEL, STYLE, AND FINISH) TO BE AS SELECTED BY OWNER.

13. PARTITIONS TO NE PARTITION TYPE PXX UNLESS OTHERWISE NOTED.

14. POOL AND POOL DECK BY OTHERS, SEE SITE PLAN FOR LAYOUT REFERENCE.

15. REFER TO SHEET A6.D.01 FOR DOOR SCHEDULE AND WINDOW SCHEDULE.

LEGEND

KEYED NOTES - REFER TO SHEET FOR MORE INFORMATION

DOOR TAG - REFER TO SHEET A6.D.01 FOR MORE (x-xx)INFORMATION

> WINDOW TAG - REFER TO SHEET A6.D.01 FOR MORE INFORMATION

PARTITION TAG - REFER TO SHEET G0.30 FOR MORE INFORMATION

PLAN KEYED NOTES

- CURVED DESK/COUNTER WITH: 42" HIGH GRANITE TRANSACTION COUNTER AND 30" HIGH WORKSTATION COUNTER w/ GRANITE TOP, PROVIDE 36" MIN. WIDE COUNTER AREA FOR ADA TRANSACTIONS. COORDINATE LAYOUT, CABINETS BELOW, AND FINISHES WITH OWNER.
- MIRROR WALL, PROVIDE (2) 5'-0"x6'-0" MIRROR PANELS, INSTALL 12" AFF.
- ADA ACCESSIBLE (HI-LO) DRINKING FOUNTAIN w/ BOTTLE REFILL. PROVIDE
 - MOP SINK w/ SHELF AND MOP HOOKS.
- COORDINATE FITNESS EQUIPMENT LOCATIONS IN FIELD, PROVIDE ADEQUATE ELECTRICAL DEVICES. REFER TO ELECTRICAL.
- 34" HIGH ISLAND w/ GRANITE STONE COUNTERTOP w/ DECORATIVE BRACKETS AND STONE BASE. REFER TO INTERIOR DESIGN MATERIAL AND FINISH SELECTIONS AND 6/A4.D.1
- 3-4:40-BC FIRE EXTINGUISHER IN RECESSED CABINET SHALL NOT BE LOCKABLE AND SHALL NOT PROJECT GREATER THAN 4".
- PROVIDE POWER AND DATA FLOOR JACKS FOR EACH PIECE OF EQUIPMENT. DATA JACKS TO RECEIVE CAT5 AND COAX FOR EACH PIECE OF EQUIPMENT, NOT INCLUDING SPIN BIKES.
- 4'x8' PLYWOOD BACKER BOARD FOR FUTURE DATA EQUIPMENT MOUNTED VERTICALLY ON WALL ABOVE BASE. PAINT TO MATCH WALL.
- 5 18" SHELVES, SEE DETAIL 11/A4.D.1
- LOCATION OF WATER HEATER ABOVE MOP SINK.
- (12) CONDENSER UNITS - REFER TO MECHANICAL.
- ELECTRICAL METERS/EQUIPMENT REFER TO ELECTRICAL.
- 24 HOUR ACCESS w/ KEY FOB SECURITY ACCESS, DOOR CONTACT(S) AND KEYED HARDWARE ACCESS
- FROST-PROTECTED STOOP WALLS BELOW. REFER TO STRUCTURAL.
- DECORATIVE STAMPED CONCRETE APPLIED TO PATIO AND ADJACENT POOL DECK - OWNER TO APPROVE COLOR AND PATTERN PRIOR TO INSTALLATION.
- (2) 4" PVC CONDUIT FOR PHONE COMPANY.
- FIRE ALARM CONTROL PANEL RECESSED IN WALL. CONFIRM LOCATION IS ACCEPTABLE w/ FIRE INSPECTOR.
- ELECTRONIC KEY CABINET, REFER TO ELECTRICAL.
- INSTALL 2" PVC TUBE FOR FUTURE HDMI CONNECTION.
- EMERGENCY POOL PHONE, REFER TO ELECTRICAL.
- G.C. TO SUPPLY AND INSTALL (4) 30" W x 12" D x 3/4" THICK PLASTIC
- LAMINATE SHELVES. BACK OF SHELVES TO BE MTD. w/ 1" CLEAR FROM WALL FOR ROUTING WIRES/POWER CORDS BEHIND SHELF.
- TRASH DROP.



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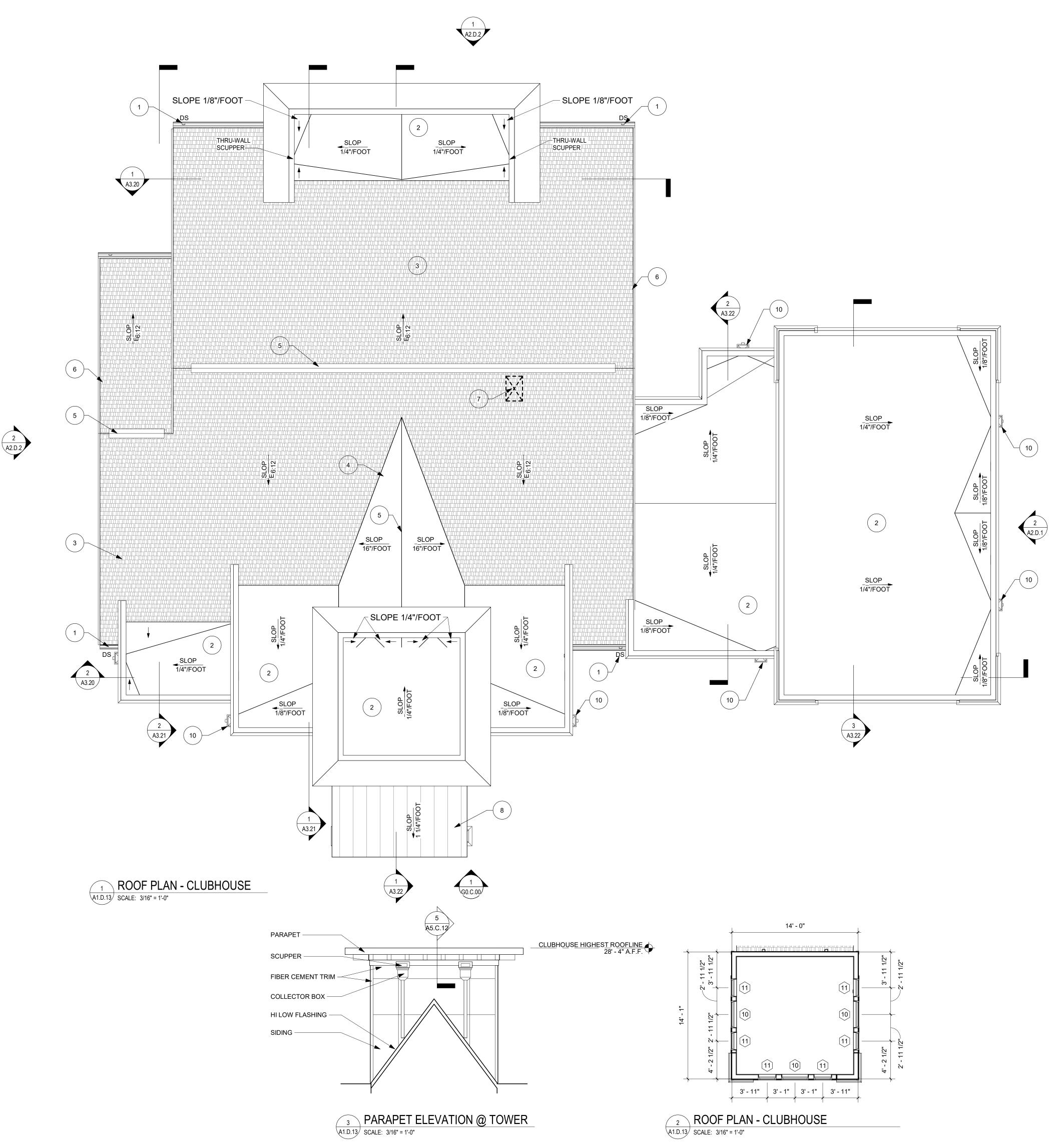
CONTINENTAL

CONTINENTAL 452 FUND LLC W134 N8675 EXECUTIVE PARKWAY MENOMONEE FALLS, WI 53052 262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER-1833112 ISSUE DATE -11/29/18 DRAWN BY/CHECKED BY-CC / MT DRAWING TITLE -

> FIRST FLOOR PLAN -CLUBHOUSE

SHEET NUMBER —



GENERAL NOTES

1. REFER TO STRUCTURAL DRAWINGS FOR TRUSS LAYOUT AND CONFIGURATION.

2. ROOFING CONTRACTOR TO PROVIDE VENTILATION IN ACCORDANCE WITH IBC 2011. VENTS SHALL BE GALVANIZED STEEL OR ALUMINUM VENT WITH SCREEN. PAINT VENTS TO MATCH ROOF.

3. REFER TO MECHANICAL AND PLUMBING PLANS FOR ROOF PENETRATION LOCATIONS.

4. REFER TO WALL SECTIONS FOR SIZE AND TYPE OF VENTING AT EAVES.

5. REFER TO DETAILS FOR TAPING REQUIREMENTS.

6. REFER TO DETAILS FOR DIVERTER REQUIREMENTS.

7. PROVIDE A MIN. OF 36" O.C. 60 MIL. SELF-ADHERED ROOFING MEMBRANE FLASHING AT ALL RAKE WALLS, HEAD WALLS, CRICKETS, VALLEYS, HIPS, AND

8. PROVIDE ICE AND WATER SHIELD AT ALL EAVES TO A DISTANCE OF 2'-0" FROM INTERIOR FACE OF EXTERIOR WALL (MIN.) 18" EACH SIDE OF ALL VALLEYS, 18" UP VERTICAL PLANE AT ROOF TO WALL INTERSECTIONS.

9. ALL DOWNSPOUTS TO BE 3"x4" PRE-FINISHED ALUMINUM, U.N.O.

LEGEND

DS DOWNSPOUT - 3"x4" PRE-FINISHED ALUMINUM

22"x36" LOCKABLE ATTIC ACCESS PANEL. REFER TO DETAIL 23/A5.D.11

PLAN KEYED NOTES

- MASTIC PREFINISHED 6" ALUMINUM GUTTERS W/ METAL DRIP EDGE, COLOR"
 REFER TO ELEVATION NOTES. PROVIDE DIVERTERS AND SPLASH GUARDS
 AT CORNERS AND VALLEYS. FLASHING AND DRIP EDGE TO MATCH GUTTER
 COLOR
- 2 EVERGUARD 60 MIL. TPO FULLY ADHERED ROOFING MEMBRANE.
- 3) SELF-SEALING ASPHALT SHINGLES, TAMKO HERITAGE SERIES, COLOR: REFER TO ELEVATION NOTES.
 - ROOF CRICKET ASSEMBLY.
- RIDGE VENT TO MATCH SHINGLE COLOR.
- CONTINUOUS SOFFIT VENT.
- ATTIC ACCESS BELOW, SHOWN DASHED.
- Minorioses below, shown brisines.
- STANDING SEAM METAL ROOF OVER 30# FELT OVER CEDAR DECKING, REFER TO STRUCTURAL.
- MECHANICAL ROOF VENTS.
- 4x8 SCUPPER WITH COLLECTOR BOX AND OVERFLOW SCUPPER REFER TO DETAILS 2/3 A5.D.13. DOWNSPOUT AT THESE LOCATIONS TO BE 5x6.

ROOF LEGEND

DOWNSPOUT - 3x4 PRE-FINISHED ALUMINUM. TIE INTO STORM SYSTEM

ATTIC ACCESS - 22"x30" MIN. LOCKABLE REFER TO DETAIL 23/A5.C.11



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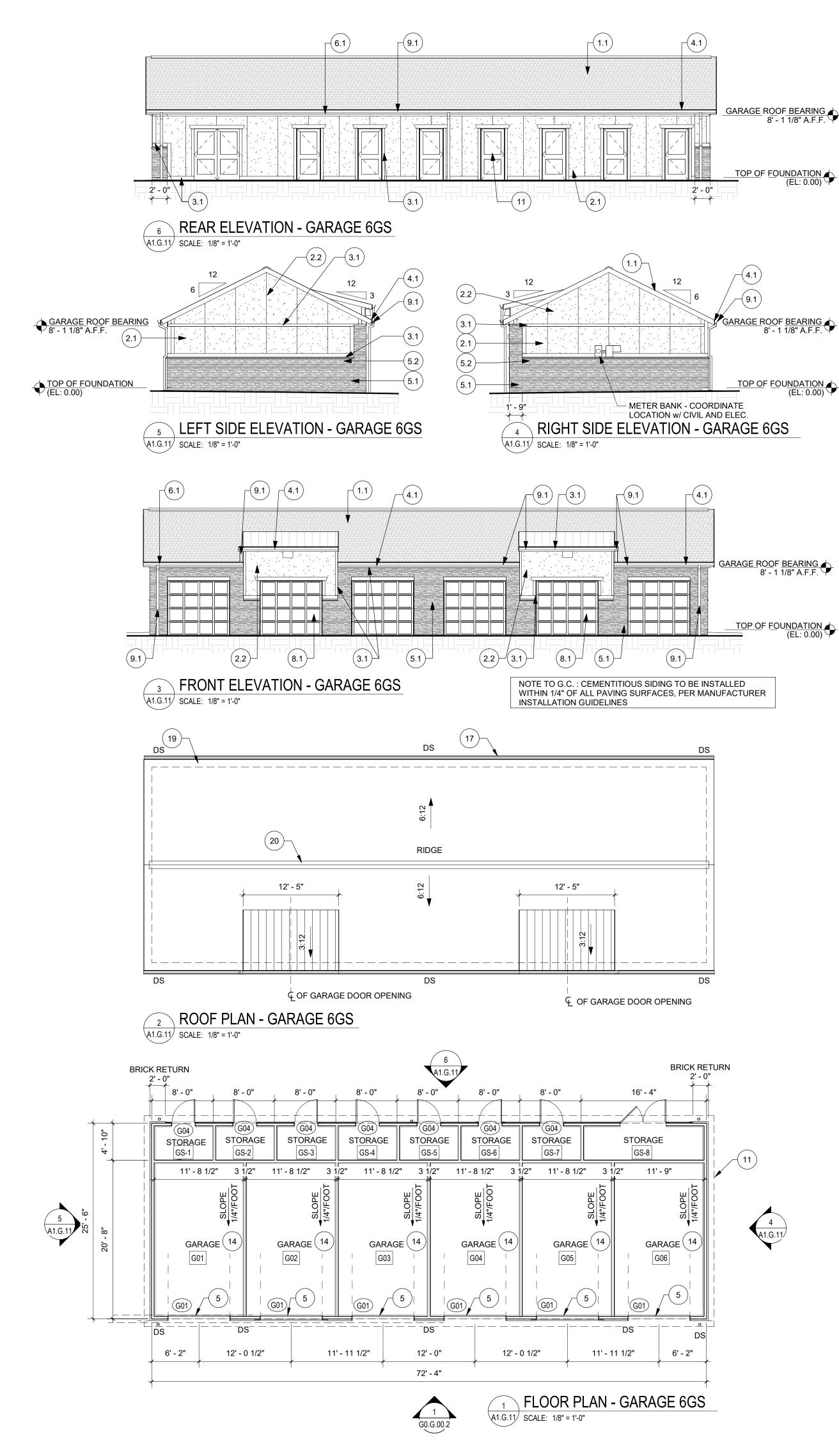
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CC / MT
DRAWING TITLE

ROOF PLAN -CLUBHOUSE

SHEET NUMBER -

A1.D.13



GENERAL	NOTES
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I. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.

2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS

3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.

4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE

5. REFER TO GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.

LEGEND

VENTILATION.

FEC FIRE EXTINGUISHER AND BRACKET

DOWNSPOUT ASSEMBLY

HOSE BIB

ELEVATION KEYED NOTES

- 30 YEAR CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES, TAMKO HERITAGE SERIES, COLOR WEATHERED WOOD ON 15 # FELT ON 7/16" OSB ROOF SHEATHING w/ METAL "H" CLIPS ON TRUSSES AT 24" O.C. (PROVIDE UPLIFT CONNECTORS AT EACH END OF EACH TRUSS - REFER TO STRUCTURAL)
- SIDING 1: STUCCO W/3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #2846 'ROYCROFT BRONZE GREEN.'
- SIDING 2: STUCCO W/3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR $^\prime$ SEAM LOCATIONS. COLOR: SW #2821 'DOWNING STONE.'
- HARDITRIM (SMOOTH)- AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER BOARDS. COLOR: SW #6148 'WOOL SKEIN.' INSTALLED PER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE
- $_1 \setminus$ PREFINISHED METAL DRIP EDGE OVER 2x8 FASCIA BOARD WRAPPED IN ALUMINUM. COLOR: TO MATCH GUTTER
- MANUFACTURED STONE VENEER. CORONADO, SERIES: 'LEDGESTONE QUICK STACK.' INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: 'CAPE COD GREY.' MORTAR COLOR TO MATCH STONE. INSTALL STONE CAPS - STYLE: CHISELED STONE, FINISH: LOMPOC FOR COLUMN BASES. INSTALL STONE LINTELS FOR WINDOWS/DOORS, STONE SILLS FOR EXTERIOR WALL.
- VENTED VINYL SOFFIT: CERTAINTEED (OR APPROVED EQUAL) STYLE: TRIPLE 3 1/3" INVISIVENT VINYL, COLOR: HERRINGBONE.
- NON-INSULATED METAL OVERHEAD DOOR TRACK, (DOOR IS INSULATED AT MAINTENANCE AREA) WEATHER STRIPPING & AUTO OPENER ASSEMBLY. STYLE: COLONIAL, GARAGE DOOR COLOR: OPTIFINISH, TO MATCH SW PAINT #2846 "ROYCROFT BRONZE GREEN" PROVIDE INSULATED OVERHEAD DOOR AT MAINTENANCE AREA ONLY.
- MASTIC-FINISHED ALUMINUM 6" GUTTER AND 4X3 DOWNSPOUT. TIE DOWNSPOUT INTO STORM SYSTEM. STYLE: K, COLOR: "ALMOND."
- A HARDIE PANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM COLUMN w/ SQUARE CAP AND BASE OVER 6x TREATED POST OR STEEL TUBE, COLOR: SW #6148 'WOOL SKEIN,' INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- PRE-FINISHED INSULATED DOOR. REFER TO DOOR SCHEDULE. COLOR: SW #6356 'COPPER MOUNTAIN.'

PLAN KEYED NOTES

- 1 CAR CARE VACUUM # 9225 BY J.E. ADAMS INDUSTRIES
- PROVIDE HOT WATER HEATER w/ WALL MOUNTED SUPPORT BRACKET AND SHELF ASSEMBLY - PROVIDE PLYWOOD BLOCKING
- PROVIDE PLUMBING ROUGH-IN AND INSTALL TOILET, GC TO SUPPLY SINK AND MIRROR PER OWNER SPECIFICATIONS. EXACT LOCATIONS TO BE COORDINATED IN FIELD.
- PROVIDE MOP SINK w/ SHELF AND MOP HOOKS.
- SLOPE SLAB EDGE 1/2" AT GARAGE DOOR
- SWIVEL RACK BY OWNER FOR PRESSURE WASHER.
- SEWER INLET w/ SAND/OIL SEPARATOR. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- (8) 3/4" HOSE BIB REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- PRESSURE CLEANER PROVIDE WATER CONNECTION, INSTALL 9 PER MANUFACTURER'S RECOMMENDATIONS.
- GOLF CART CHARGING STATION. COORDINATE LOCATION IN FIELD - SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- (11) DASHED LINE INDICATES ROOF OVERHANG.
- (12) 22"x36" INSULATED ATTIC ACCESS PANEL WITH LOCK. COORDINATE LOCATION IN FIELD.
- (13) CONCRETE STOOP w/ BROOM FINISH, SEALED.
- (14) POST TENSION SLAB PROVIDE CONTROL JOINTS AS REQUIRED.

SEAL OR STAIN FINISH AS SELECTED BY OWNER.

- HARDIEPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM -COLUMN w/ SQUARE CAP AND BASE OVER 6x6 TREATED POST. COLOR SW PAINT #7036 "ACCESSIBLE BEIGE", INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- PAC-CLAD STANDING SEAM ROOF REFER TO STRUCTURAL, COLOR: "GALVALUME" COLOR: "GALVALUME."
- PREFINISHED 6" ALUMINUM GUTTER w/ 3x4 DOWNSPOUT. PROVIDE PREFINISHED 6" ALUMINUM GUTTER w/ 3x4 DOWNSPOUT. PROVII DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.
- PROVIDE (2) 1 3/4"x11 1/4" LVL HEADER, CLAD WITH FIBER CEMENT
- PREFINISHED CONTINUOUS PERFORATED VINYL SOFFIT VENT
- RIDGE VENTS, STYLE AS SELECTED BY OWNER, COLOR TO MATCH ROOF SHINGLES
- TOILET ROOM WALLS" 2x4 WOOD STUD FRAMING @ 16" O.C. WITH MOISTURE RESISTANT GYPSUM BOARD ON TOILET ROOM SIDE OF WALL AND OSB SHEATHING ON MAINTENANCE AREA SIDE OF WALL. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT TOILET
- PET GROOMING STATION GROOMERS BEST 48" WALK-THRU TUB W/ PULL OUT RAMP. TIE DRAIN TO BUILDING SANITARY SYSTEM.
- (23) COORDINATE GCIWP LOCATIONS w/ HOSE BIB LOCATIONS.

ROOM CEILING IN LIEU OF OSB SHEATHING.

(24) MIRROR ABOVE SINK.

ROOF SHINGLES.

AROUND PERIMETER OF ROOF.



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DESCRIPTION

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MESA, AZ

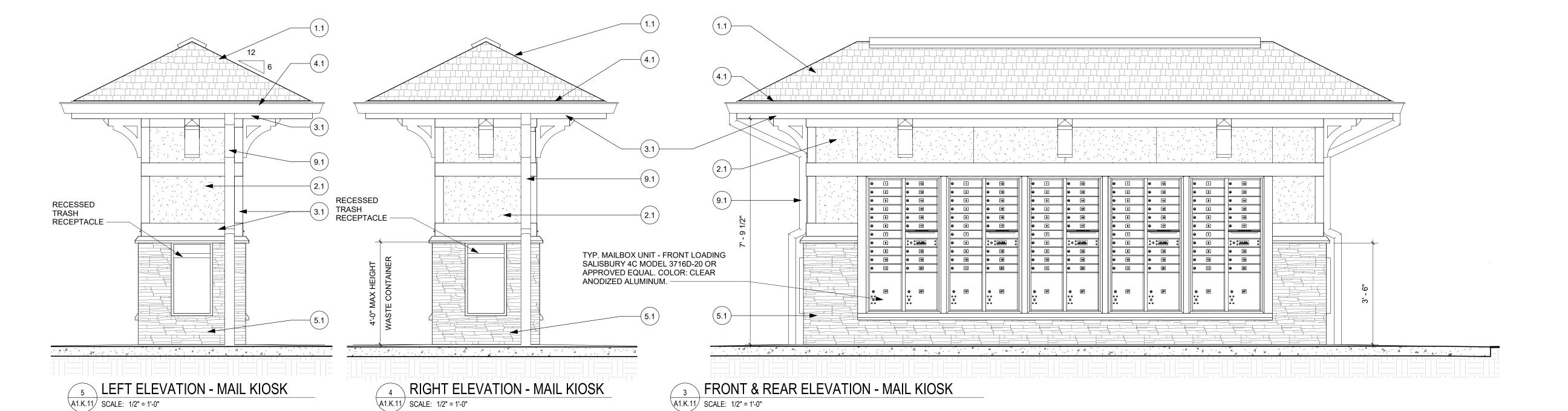


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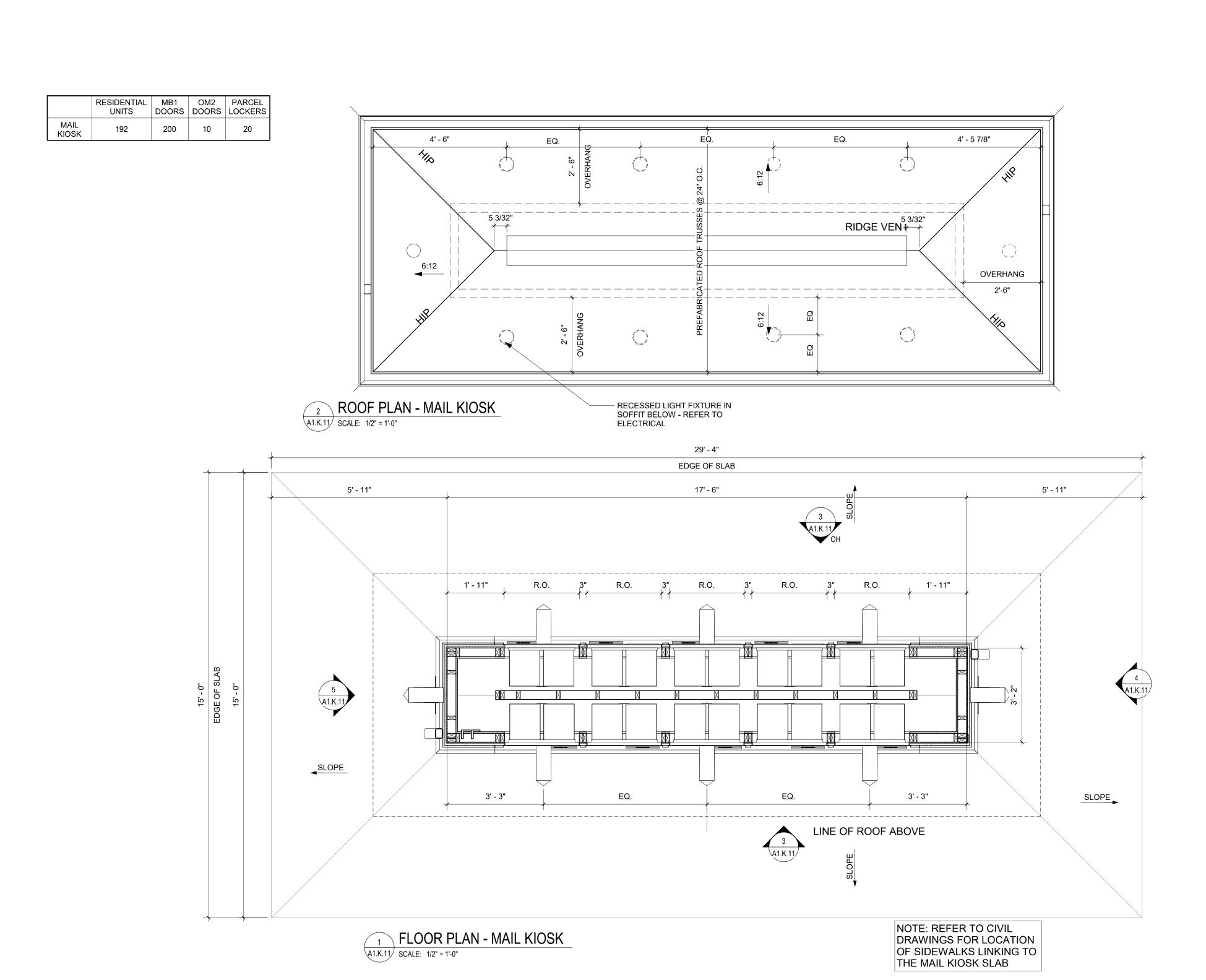
DRAWING TITLE -6GS-2 GARAGE BLDG. PLANS, ELEVATIONS, AND SECTIONS

SHEET NUMBER —



ELEVATION KEYED NOTES

- 30 YEAR CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES, TAMKO HERITAGE SERIES, COLOR WEATHERED WOOD ON 15 # FELT ON 7/16" OSB ROOF SHEATHING w/ METAL "H" CLIPS ON TRUSSES AT 24" O.C. (PROVIDE UPLIFT CONNECTORS AT EACH END OF EACH TRUSS REFER TO STRUCTURAL)
- SIDING 1: STUCCO W/3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #2846 'ROYCROFT BRONZE GREEN.'
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- (3.1) HARDITRIM (SMOOTH)- AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER BOARDS. COLOR: SW #6148 'WOOL SKEIN.' INSTALLED PER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE REQUIRED.
- PREFINISHED METAL DRIP EDGE OVER 2x8 FASCIA BOARD WRAPPED IN ALUMINUM. COLOR: TO MATCH GUTTER
- MANUFACTURED STONE VENEER. CORONADO, SERIES: 'LEDGESTONE QUICK STACK.' INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: 'CAPE COD GREY.' MORTAR COLOR TO MATCH STONE. INSTALL STONE CAPS STYLE: CHISELED STONE, FINISH: LOMPOC FOR COLUMN BASES. INSTALL STONE LINTELS FOR WINDOWS/DOORS, STONE SILLS FOR EXTERIOR WALL.
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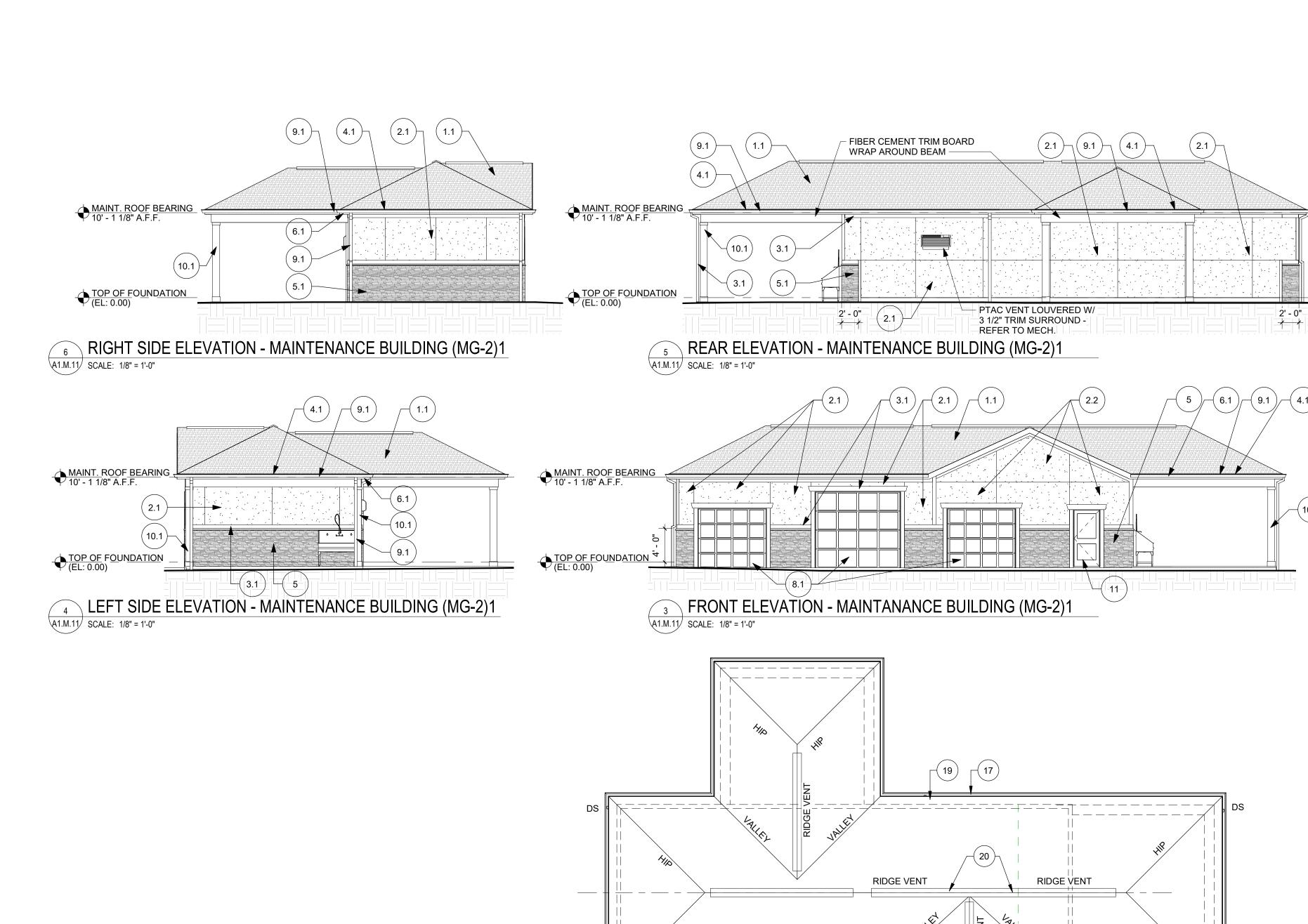
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MAIL KIOSK PLANS, ELEVATIONS, AND SECTIONS

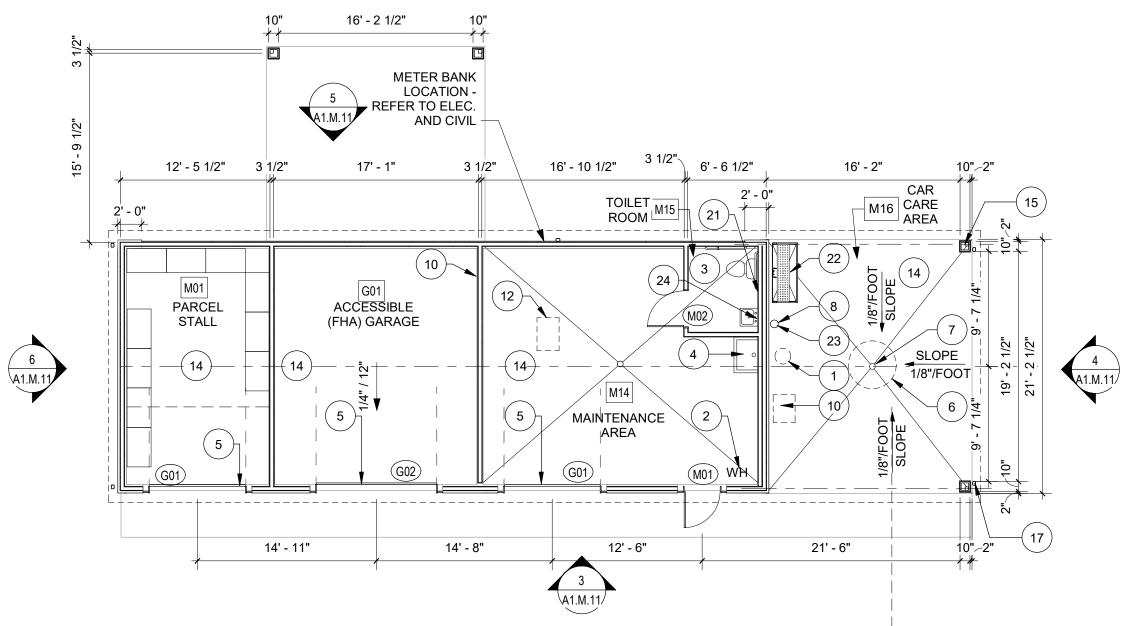
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ROOF PLAN - MAINTENANCE BUILDING (MG-2)

SCALE: 1/8" = 1'-0"



1 FLOOR PLAN - MAINTENANCE BUILDING (MG-2)

A1.M.11 SCALE: 1/8" = 1'-0"

GENERAL NOTES

. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.

2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS

3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.

4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.

5. REFER TO GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.

LEGEND

HB

FEC FIRE EXTINGUISHER AND BRACKET

DOWNSPOUT ASSEMBLY

HOSE BIB

ELEVATION KEYED NOTES

- 1.1 30 YEAR CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES, TAMKO HERITAGE SERIES, COLOR WEATHERED WOOD ON 15 # FELT ON 7/16" OSB ROOF SHEATHING w/ METAL "H" CLIPS ON TRUSSES AT 24" O.C. (PROVIDE UPLIFT CONNECTORS AT EACH END OF EACH TRUSS REFER TO STRUCTURAL)
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- 2.2) SIDING 2: STUCCO W/3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #2821 'DOWNING STONE.'
- (3.1) HARDITRIM (SMOOTH)- AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER BOARDS. COLOR: SW #6148 'WOOL SKEIN.' INSTALLED PER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE
- PREFINISHED METAL DRIP EDGE OVER 2x8 FASCIA BOARD WRAPPED IN ALUMINUM. COLOR: TO MATCH GUTTER
- MANUFACTURED STONE VENEER. CORONADO, SERIES: 'LEDGESTONE QUICK STACK.' INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: 'CAPE COD GREY.' MORTAR COLOR TO MATCH STONE. INSTALL STONE CAPS STYLE: CHISELED STONE, FINISH: LOMPOC FOR COLUMN BASES. INSTALL STONE LINTELS FOR WINDOWS/DOORS, STONE SILLS FOR EXTERIOR WALL.
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- PRE-FINISHED INSULATED DOOR. REFER TO DOOR SCHEDULE. COLOR: SW #6356 'COPPER MOUNTAIN.'

PLAN KEYED NOTES

- 1 CAR CARE VACUUM # 9225 BY J.E. ADAMS INDUSTRIES
- PROVIDE HOT WATER HEATER w/ WALL MOUNTED SUPPORT BRACKET AND SHELF ASSEMBLY PROVIDE PLYWOOD BLOCKING
- PROVIDE PLUMBING ROUGH-IN AND INSTALL TOILET, GC TO SUPPLY SINK AND MIRROR PER OWNER SPECIFICATIONS. EXACT LOCATIONS TO BE COORDINATED IN FIELD.
- 4 PROVIDE MOP SINK w/ SHELF AND MOP HOOKS.
- 5) SLOPE SLAB EDGE 1/2" AT GARAGE DOOR
- 6 SWIVEL RACK BY OWNER FOR PRESSURE WASHER.
- 7 SEWER INLET w/ SAND/OIL SEPARATOR. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- (8) 3/4" HOSE BIB REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- 9 PRESSURE CLEANER PROVIDE WATER CONNECTION, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- GOLF CART CHARGING STATION. COORDINATE LOCATION IN FIELD SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- (11) DASHED LINE INDICATES ROOF OVERHANG.
- 22"x36" INSULATED ATTIC ACCESS PANEL WITH LOCK. COORDINATE LOCATION IN FIELD.
- (13) CONCRETE STOOP w/ BROOM FINISH, SEALED.
- POST TENSION SLAB PROVIDE CONTROL JOINTS AS REQUIRED. SEAL OR STAIN FINISH AS SELECTED BY OWNER.
- HARDIEPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM COLUMN w/ SQUARE CAP AND BASE OVER 6x6 TREATED POST.
 COLOR SW PAINT #7036 "ACCESSIBLE BEIGE", INSTALLED PER
 MANUFACTURER'S RECOMMENDATIONS.
- PAC-CLAD STANDING SEAM ROOF REFER TO STRUCTURAL, COLOR: "GALVALUME."
- PREFINISHED 6" ALUMINUM GUTTER w/ 3x4 DOWNSPOUT. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.
- PROVIDE (2) 1 3/4"x11 1/4" LVL HEADER, CLAD WITH FIBER CEMENT
- PREFINISHED CONTINUOUS PERFORATED VINYL SOFFIT VENT AROUND PERIMETER OF ROOF.
- RIDGE VENTS, STYLE AS SELECTED BY OWNER, COLOR TO MATCH ROOF SHINGLES.
- TOILET ROOM WALLS" 2x4 WOOD STUD FRAMING @ 16" O.C. WITH MOISTURE RESISTANT GYPSUM BOARD ON TOILET ROOM SIDE OF WALL AND OSB SHEATHING ON MAINTENANCE AREA SIDE OF WALL. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT TOILET
- PET GROOMING STATION GROOMERS BEST 48" WALK-THRU TUB w/ PULL OUT RAMP. TIE DRAIN TO BUILDING SANITARY SYSTEM.
- (23) COORDINATE GCIWP LOCATIONS w/ HOSE BIB LOCATIONS.

ROOM CEILING IN LIEU OF OSB SHEATHING.

(24) MIRROR ABOVE SINK.



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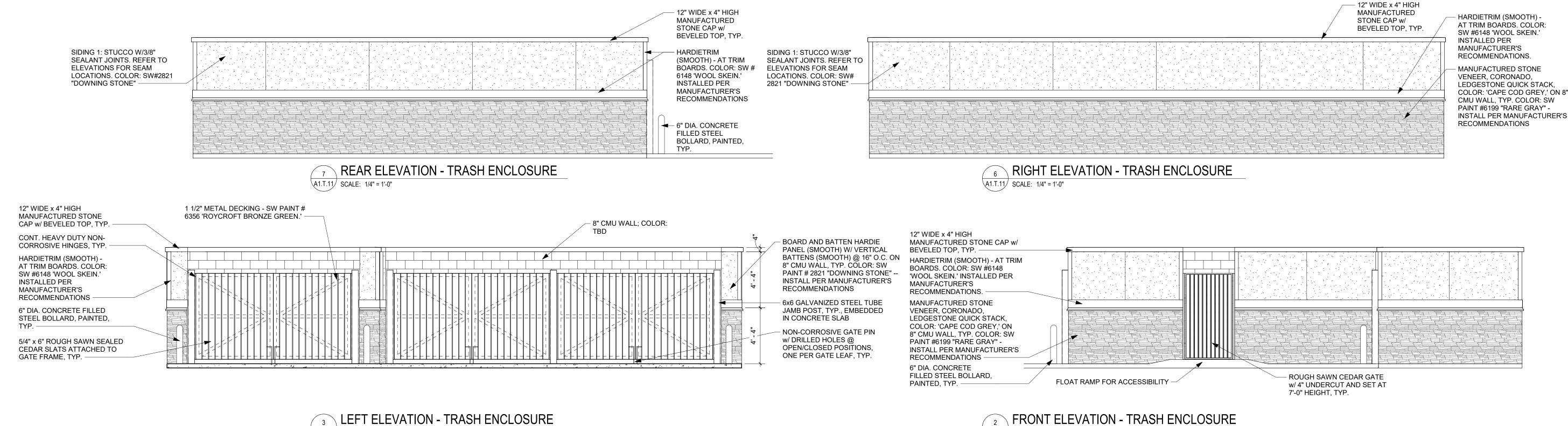
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MAINTENANCE BUILDING (MG-2)PLANS, ELEVATIONS, SECTIONS

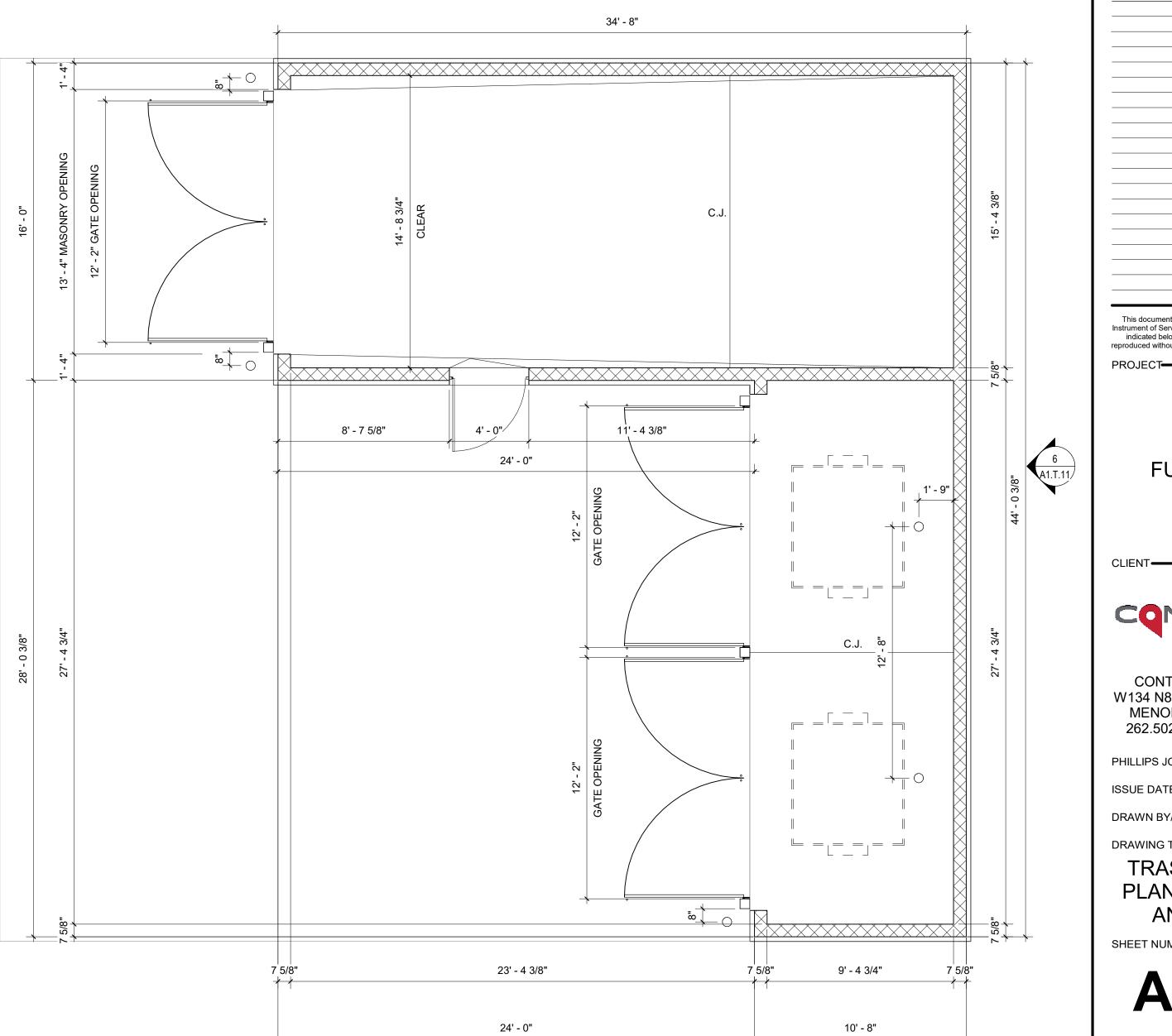
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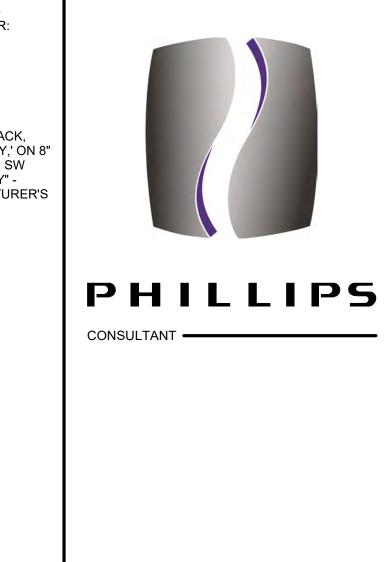
A1.T.11 SCALE: 1/4" = 1'-0"

FRONT ELEVATION - TRASH ENCLOSURE

SCALE: 1/4" = 1'-0"



1 FLOOR PLAN - COMPACTOR / RECYCLING ENCLOSURE
A1.T.11 SCALE: 1/4" = 1'-0"



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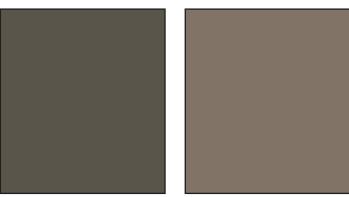
TRASH ENCLOSURE PLANS, ELEVATIONS, AND SECTIONS

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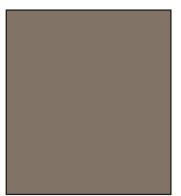
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SPRINGS AT RED MOUNTAIN **ELEVATION COLOR SCHEME**

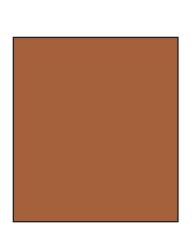
COLOR SCHEME A: Buildings 2,4,6,7



SW 2846 Roycroft Bronze Green Siding

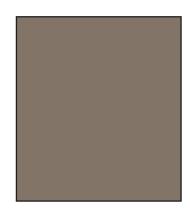


SW 7514 Foothills Garage Doors

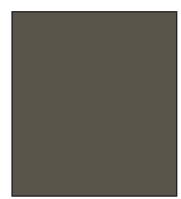


SW 6356 SW 2821 Copper Mountain **Downing Stone Unit Door Color** Siding

COLOR SCHEME B: Buildings 1,3,5



SW 7514 Foothills Siding and Garage Doors



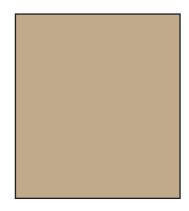
SW 2846 Roycroft Bronze Green Unit Door Color

STONE-BOTH SCHEMES



Coronado Series Cape Cod Grey Stacked Stone

TRIM-BOTH SCHEMES



SW 6143 Basket Beige Siding





December 14, 2018

Re: Springs at Red Mountain – Project Narrative

Applicant: Continental 452 Fund LLC PAD and Design Review Board Submittal

PRS18-00244

Introduction

Continental 452 Fund LLC ("Continental") is pursuing the acquisition of approximately 10.43 acres of land near located at 2639 N Power Road ("Site") in the City of Mesa, AZ ("City") for its proposed multifamily community to be known as the Springs at Red Mountain ("Springs"). Continental's proposed Springs community is an upscale, market-rate 192-unit multifamily community consisting of seven (7) residential buildings, clubhouse, pet playground, both attached and detached garages, and other tenant amenities. The Springs community will total 10.43 acres with a density of approximately 18.41 units per acre. Please accept this project narrative and accompanying PAD and Design Review Board submittal materials.

Springs at Red Mountain

Site Plan & Landscaping

Over the past few months, Continental has taken efforts to meet with adjacent property owners and neighbors to ensure that a compatible, cohesive site plan can be achieved. To date, Continental has held two informational neighborhood meetings to get feedback and input from adjacent property owners. A detailed outline of the items discussed at the neighborhood meetings and a description of the site plan changes made as a result are noted in the accompanying Citizen Participation Plan. Continental has made multiple site plan revisions to ensure that comments received at these neighborhood meetings have been addressed appropriately.

The Springs community will offer a combination of four (4) three-story apartment buildings and three (3) two-story apartment buildings, totaling 192 units. The three-story buildings are strategically located on the northern portion of the Site and the two-story buildings are situated on the southern portion of the Site to mitigate perceived view corridors and visual impacts to the single-family properties to the south. The two southern apartment buildings are situated approximately 40 and 108 feet from the shared southern property boundary with the single-family community. The larger building setback provides greater privacy and provides additional landscape buffer area for trees and shrubs to block views from apartment buildings. A portion of this building setback exceeds the existing 75-foot building setback established in the approved 2005 zoning case and exceeds the 30-foot minimum setback per RM-3 standards. Building 3 will have a parking aisle and covered parking structures between the building and the south property line. Building 4 will back onto a wide landscaped area. Special attention will be paid to this southern landscape buffer. Two rows of trees will be added with special emphasis on staggered placement to screen views to and from the south. An existing 6-foot masonry wall currently separates the single-family community from the Site.



The design of the Springs community lends itself well to providing a very walkable and pedestrian friendly community. Connectivity among buildings and tenant amenities is provided on-site through sidewalks and pedestrian connections to Power Road and the existing retail adjacent to the north of the Site. Open space is provided on-site through common courtyards and other on-site tenant amenities, including a clubhouse, picnic areas, storage lockers, pool, fire pit, grilling stations, fitness center, and pet playgrounds.

The Springs community is a gated community with ample tenant parking to avoid tenant parking spilling over onto adjacent streets. The community will be accessed by an existing curb cut on Power Road. A secondary emergency access gate is provided on the northern end of the Site near Albertsons via an existing emergency access easement as a second point of access for emergency vehicles. All service and maintenance related amenities (such as trash and mail services) are screened from the public's view via landscaping and building placement and are centrally located within the Site for safe and convenient access. Parking and detached garages face interior to the development and are screened from the public's view via landscaping and an existing 6-foot masonry wall surrounding the Site. Lighting is designed to minimize any spillage of light onto adjacent properties while also providing adequate lighting along pedestrian paths. All on-ground HVAC units and meters are proposed to be screened via landscape screening, including shrubs and grasses that will provide year-round screening as shown in **Exhibit A**. Landscaping within the community will be designed to meet the standards set forth per MZO and will include building foundation plantings, open space plantings, and parking lot plantings. Other site details are included as **Exhibit B**.

Interiors

The Springs community will contain a mixture of studio, 1-, 2-, and 3-bedroom units in seven (7) residential buildings. Unit floor plans offer an open-living concept with interiors that include dark wood cabinetry, stainless steel appliances, granite countertops and backsplashes, luxury wood grain flooring, and large kitchen islands in units. Washers and driers are also included in each unit. Each unit is also provided with private access to its respective private patio or balcony space per MZO standards.

Architecture and Exteriors

The Springs community will offer a combination of three- and two-story residential structures. Two-story residential buildings feature private, ground level, direct entries to each unit, providing a similar style to a townhome. Second floor units in these two-story buildings have their own private staircases leading to the unit. This distinctive design will further bring a quality, new style of residential living into the surrounding area. Three-story residential buildings feature covered, common corridors, provided shaded entries into each unit. This shared corridor is accessed through open-air entries along the street-facing side of the building. Per MZO standards, the two-story buildings are 25.5 feet in height and the three-story buildings are 37.8 feet in height, below the 40-foot building height maximum per RM-3 standards. The combination of three- and two-story buildings provide a variety of unit types and floor plans for tenants.



Exterior elevations provide architectural interest through varied rooflines and quality, durable building materials, including stone masonry and stucco siding on all buildings. Alongside a complementary color palette, roof accents over unit entries bring additional articulation to the buildings. Large-scale windows are provided in each unit to promote natural lighting. Each building provides articulation to break up the structure's massing by incorporating balconies, covered doorways and patios, and unit projections to create variation with each façade, providing a human scale to the community. All ancillary structures also feature the same quality and durable materials.

Tenant Amenities

Several amenities are included within the Springs community. Among the facilities are a 4,000+ square foot clubhouse, pedestrian sidewalks throughout the community, seating and picnic areas, perimeter walking trail, a car care area, a pet wash station, storage lockers, grilling areas, bike parking, and a pet playground. The clubhouse includes a large gathering room, 24-hour fitness center, kitchen area, coffee bar, fire pit, pergola area, and office space for Continental's property management team. A pool and sun deck for the residents are provided behind the clubhouse along with an outdoor grilling area. The fitness room features a large garage-style door which may be opened during warmer months for an open-air workout area. The clubhouse and pool area are served by wireless internet service. Continental's on-site management team also offers a concierge trash service to its tenants in which Continental's staff will collect and dispose of trash from the tenants to the trash and receptacle area near the clubhouse.

Open Space

Both private and common open space amenities are provided for all tenants in the community. Private open space is provided through private patio and balcony spaces for all units. All private patio and balcony open spaces meet or, in most cases, exceed the minimum square footage requirements per MZO based on unit type. All private open space areas are further shown in **Exhibit C**. Common open space amenities are also provided in the clubhouse, including a large gathering room, 24-hour fitness center, kitchen area, coffee bar, pool and sun deck, and outdoor grilling area. The community will also feature a fire pit area. perimeter walking trail, and a fenced pet playground area. Open courtyard areas also provide opportunities for both passive and active recreation. All common open space areas are further shown in **Exhibit D**. The table below identifies the required open space per MZO standards and identifies the private and common open space area that will be provided in the community.

Open Space Calculations		
Required Open Space	33,600 SF	
Private Open Space Provided	24,874 SF	
Common Open Space Provided	101,494 SF	
Total Open Space Provided	126,368 SF	



Unusual Site Constraints

The site is currently accessed via an existing curb cut, providing right-in, right-out access on Power Road. Vehicles traveling southbound on Power Road can access the Site through the LA Fitness, which was designed years ago to accommodate traffic to both its property and this subject property. Vehicles entering LA Fitness property will follow an existing access easement that leads to a traffic circle that LA Fitness built, which will manage access to and from both properties. Majority of the Site's perimeter is currently bordered by an existing 6-foot masonry wall. An existing chain-link fence borders and runs along the eastern property boundary adjacent to the canal. The chain-link fence is situated a couple feet off the Site and lies on the adjacent property. An existing emergency access easement (Doc. 2007-0277364) located on the northern portion of the Site adjacent to Albertsons provides a second point of emergency access.

Pre-Submittal Comments

The sections below address certain comments and items discussed at the pre-submittal conference.

Compliance with General Plan & Objectives

The existing General Plan character area designation on the Site is Mixed Use Activity District with a small portion of the Site identified as Neighborhood/Suburban. The General Plan states that neighborhoods are the foundation of communities and cities where people want to live, work, and play. The proposed Springs community helps accomplish this by focusing on the following:

- 1. Ensure neighborhoods are safe, clean, and provide a healthy living environment: Continental is unique in that Continental develops, owns, and manages all its Springs apartment communities. Continental does not hire any third-party management companies to manage or maintain the communities Continental develops. Continental has its own full-time management and leasing staff on-site to handle all day-to-day maintenance and leasing operations. This ensures that the community is managed and maintained to the standards and high level of quality that Continental expects in all of its communities. Typical on-site staff include property managers, assistant property managers, leasing associates, and 24-hour maintenance staff. This ensures that the Springs community will be a safe, clean, and comfortable living environment.
- 2. Build community and foster social interaction: Continental strives to a good neighbor and a pillar in the community it serves. Every Springs community has a Springs Cares Program. Springs staff partners with local charitable, non-profit organizations to support causes and objectives within each community. Springs staff, residents, and local sponsors will host a variety of events that benefit deserving local charities. The proposed Springs community will also feature common open space area for tenants, including a clubhouse, pet playground, pool, grilling areas, fire pit, perimeter pedestrian trail, and picnic areas that provide opportunities for social interaction and group activities.



- 3. Improve connectivity and walkability: The design of the Springs community lends itself well to providing a very walkable and pedestrian friendly community. Connectivity among buildings and tenant amenities is provided on-site through sidewalks, as well as pedestrian connections to Power Road and sidewalk connections to the existing retail adjacent to the Site. All sidewalks within the Springs community are designed to be ADA compliant, providing access for all individuals to on-site amenities.
- 4. Provide for diversity: The design of the Springs community and variety of building and unit types provide a unique, quality housing opportunity to a wide variety of people. The Springs community will provide studio, 1-, 2-, and 3-bedroom units, catering to a wide variety of possible tenants. Throughout Continental's Springs portfolio, majority of Springs residents work in a wide variety of fields, such as education, health care, manufacturing, technology, finance, service industries, and local police and fire departments. Springs residents are typically young professionals who want quality housing before purchasing a unit or empty nesters who are maybe looking to downsize but still want a quality housing opportunity that requires less maintenance than owning a unit. The private, direct access to all units in the two-story buildings provide convenient access to those with mobility concerns as well. Certain first-floor units are designed to be ADA Type A accessible. All other first-floor units are designed to be ADA Type B accessible so that these certain units can be converted to be fully ADA Type A complaint if necessary. The unique product type and variety of unit types ensure that varieties of tenants are provided with a quality housing opportunity.
- 5. Encourage development of neighborhood character and personality: As previously mentioned, on-site Springs staff look to create local partnerships and become active in the community in which it serves. These helps create neighborhood character and provide a stronger sense of community with nearby, existing retailors and residents.
- 6. Maintain standards for quality design and development: The Springs community is designed to provide a quality design and quality overall development. Durable building materials, such as stone masonry and stucco, ensure that buildings are of good quality and material. Large patios, balconies, windows, complementary color palettes, and unit projections/recessions provide articulation, character, and pedestrian scale to the buildings. Balconies, patios, and other tenant amenities are provided to encourage active and passive recreation. These features ensure that the Springs community is a quality, unique residential community serving the area's existing and future retailors and employers while providing a true community atmosphere.

Zoning Compliance & Setbacks

The Site is currently zoned RM-3 PAD – Residential Multiple Dwelling. This zoning classification allows for multifamily developments between 15-20 units per acre. The proposed Springs community consists of 192 units on 10.43 acres with a density of 18.41 units per acre, within the allowable range per RM-3 standards. Continental understands that as part of its project approvals, a new PAD must be established to replace the existing condominium PAD overlay approved in 2005.



The table below shows the proposed building, parking, and sidewalk setbacks along the property boundaries as part of this PAD submittal and as shown in the PAD plan sheets.

Perimeter Setbacks			
Southern Property Line (Adjacent to single-family)	Building (Detached Garage)	30 feet	
	Building (Apartment Building)	38.2 feet	
	Sidewalk	24.5 feet	
	Parking	38 feet	
Southern Property Boundary (Adjacent to LA Fitness)	Building (Clubhouse)	30 feet	
	Sidewalk	9.4 feet	
	Parking	9.6 feet	
Eastern Property Boundary (Adjacent to canal)	Building (Apartment Building)	26.3 feet	
	Sidewalk	4.5 feet	
	Parking	10 feet	
Northern Property Boundary (Adjacent to Albertsons,	Sidewalk	4.3 feet	
Goodwill, and Del Taco)	Parking	15 feet	
	Monument Sign	5 feet	
Western Property Boundary (Along Power Road)	Monument Sign	15 feet	
Western Property Boundary (Adjacent to LA Fitness)	Sidewalk	9.5 feet	
	Parking	15 feet	

Site Plan Comments

Since the initial pre-submittal meeting, several site plan changes have been made based on feedback received from both City of Mesa staff and adjacent neighbors. The number of apartment buildings have been reduced from nine (9) to seven (7) residential buildings and great apartment building separation and landscape buffering was implemented along the southern property boundary adjacent to the existing single-family community. Sidewalk connectivity has been provided to Power Road and the commercial center to the north at the existing breaks in the existing masonry wall separating the Site from the commercial development. Both private open spaces, in the form of balconies and patio, and common open spaces, in the form of the clubhouse, pool, grilling stations, pet playground, and perimeter walking trail, have been provided and exceed the required open space areas per RM-3 standards. Apartment building locations have been revised to provide common corridors.



Landscape islands and proposed Site landscaping is designed to meet MZO standards. Stormwater detention has been moved underground to maximize the Site to provide adequate areas for landscape screening and grading.

Elevation Comments

Additionally, several building elevation modifications have been made based on feedback received from Mesa staff. All unit entries are covered, either by balcony/roof overhangs or by shaded common corridors. Building finishes have been modified to include stone masonry and stucco, ensuring that building materials will be durable in the Arizona climate. All exposed wood elements have been covered or removed. Also, building elevations have been modified to provide covered, private patios or balconies for all units.

Conclusion

In conclusion, the proposed Springs community will benefit the City and the surrounding retail and office community. The community will help meet the demand for rental housing in the Mesa area while providing a unique, quality housing opportunity for employers and residents. The proximity to existing retail will increase City sales tax collection and will help draw future retailers to the area. The community will provide a live, work, play lifestyle option, strengthening the mixed-use character of the area and provide tenants with nearby retail, restaurant, and entertainment opportunities. Thank you for considering this PAD and Design Review Board submittal and please let me know if there are any questions on the items enclosed. I look forward to working with the City.

Sincerely,

Eric Gumm

Development Director Continental 452 Fund LLC (262) 532-9332

egumm@cproperties.com



Exhibit A

AC and HVAC Unit Screening

SPRINGS RED MOUNTAIN

MESA, AZ PROPOSED LIVING PLANT AC SCREEN EXHIBIT



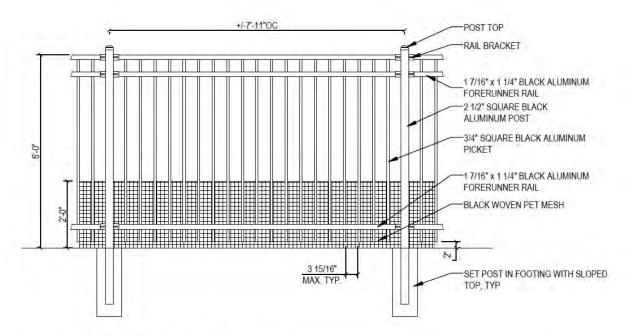




Exhibit B

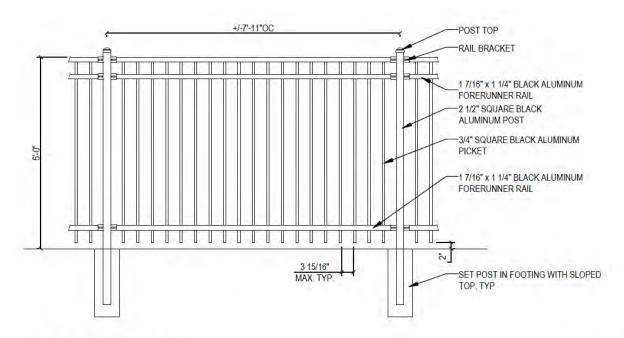
Site Details





1 PET PLAYGROUND FENCE

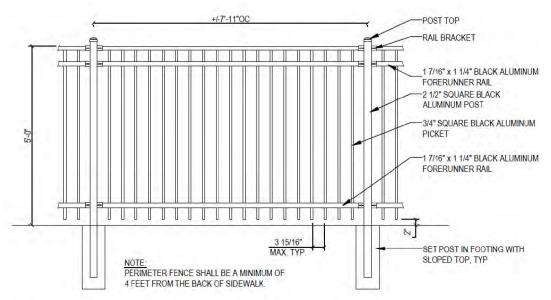
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POOL FENCE

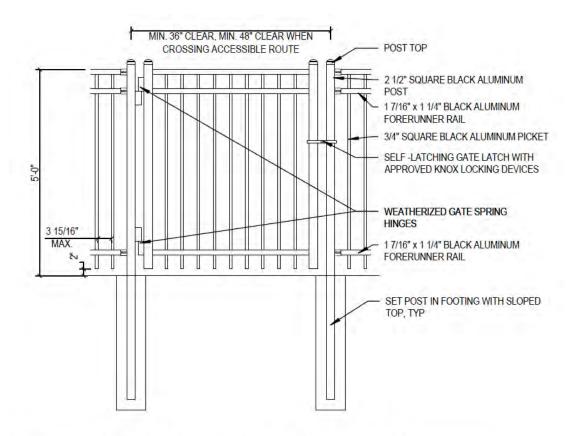
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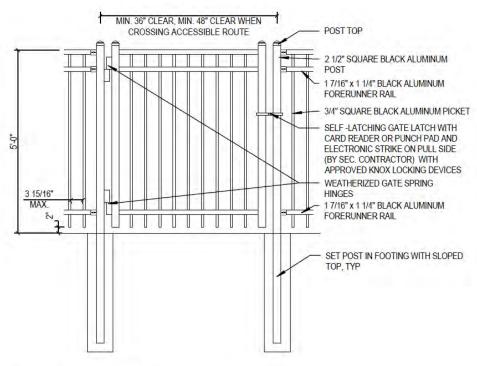
PERIMETER & YARD FENCE

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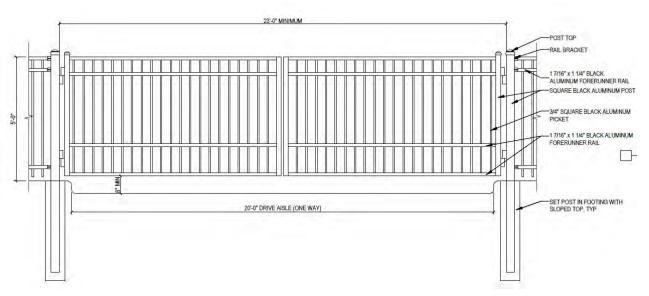
YARD & PET PLAYGROUND GATE





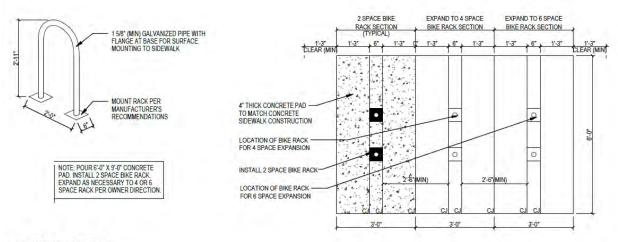
5 PERIMETER & POOL GATE

NOT TO SCALE



(5) DOUBLE SWING ENTRY GATE





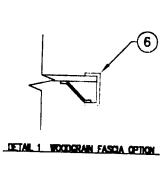
3 BIKE RACK

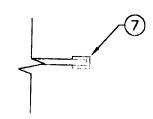
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Skyline Steel, Inc.

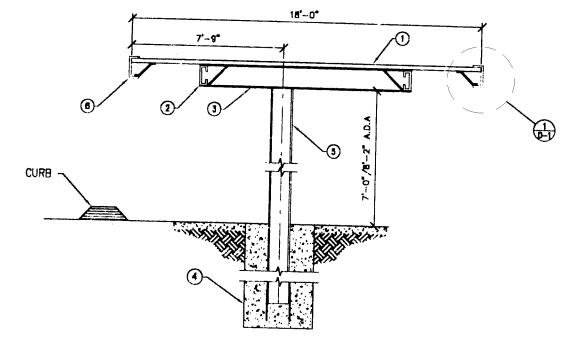
631 W. Commerce Ave. Gilbert, Arizona 85233 480/926-0122 FAX: 480/926-9178 Lic. No. 085457

18' BOX-BEAM SEMI-CANTILEVERED





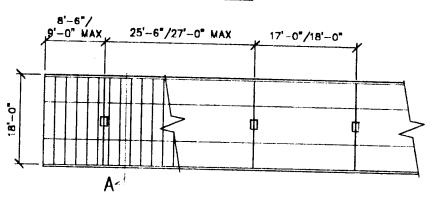
DETAIL 2 FINE TRAN OPTION



SECTION A

KEYNOTES

- 1. DECK
- 2. PURLINS
- 3. BEAMS
- 4. POLE FOOTING
- 5. COLUMNS
- 6. WOODGRAIN FASCIA (OPTIONAL)
- 7. EDGE TRIM (OPTIONAL)



PARTIAL ROOF FRAMING PLAN



Exhibit C

Private Open Space



- 1) EACH FIRST FLOOR UNIT HAS A PRIVATE PATIO SPACE THAT MEETS THE MINIMUM SQUARE FOOTAGE PER MZO BASED ON UNIT TYPE.
- 2) ALL GROUND FLOOR ENTRIES FOR BOTH FIRST AND SECOND FLOOR UNITS ARE COVERED AND SHADED BY EITHER AN OVERHANGING BALCONY OR STANDING SEAM SHED ROOF.
- 3) GROUND FLOOR ENTRIES FOR BOTH FIRST AND SECOND FLOOR UNITS HAVE BEEN SEPARATED TO BETTER DESIGNATE EACH UNIT'S RESPECTIVE ENTRY.
- 4) PRIVATE FIRST FLOOR PRIVATE PATIO SPACE SQUARE FOOTAGE DOES NOT INCLUDE SECOND FLOOR UNIT ENTRY SPACES. ALL GROUND FLOOR PRIVATE PATIOS MEET THE MINIMUM SQUARE FOOTAGE REQUIREMENTS PER MZO EXCLUSIVE OF SECOND FLOOR UNIT GROUND ENTRY SPACES.
- 5) ALL FIRST FLOOR PATIOS ARE SHADED VIA SECOND FLOOR BALCONY OVERHANGS.



UNIT/PRIVATE OPEN SPACE ENTRANCE

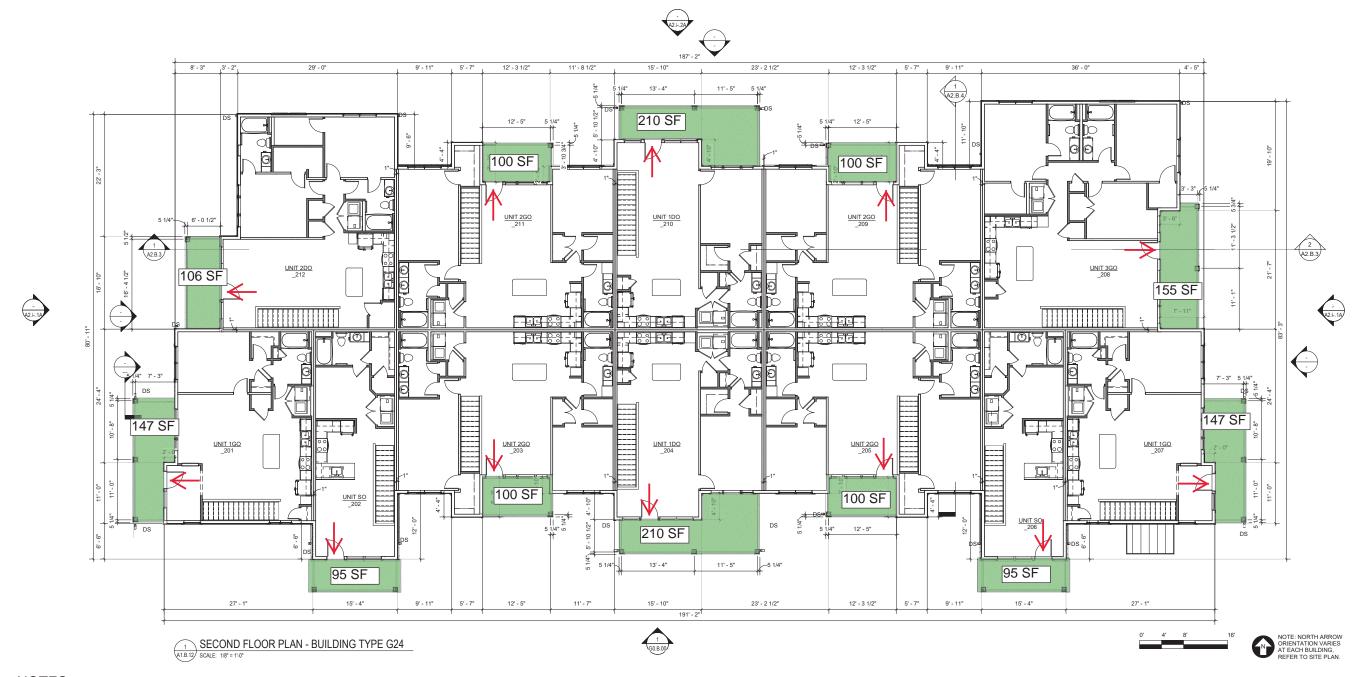


FIRST FLOOR UNIT PRIVATE OPEN SPACE (PATIO)



SECOND FLOOR UNIT GROUND ENTRY SPACE

TWO-STORY BUILDING BUILDINGS 2, 3, AND 4 FIRST FLOOR



- 1) EACH SECOND FLOOR UNIT HAS A PRIVATE BALCONY THAT MEETS THE MINIMUM SQUARE FOOTAGE PER MZO BASED ON UNIT TYPE.
- 2) ALL GROUND FLOOR ENTRIES FOR BOTH FIRST AND SECOND FLOOR UNITS ARE COVERED AND SHADED BY EITHER AN OVERHANGING BALCONY OR STANDING SEAM SHED ROOF.
- 3) ALL BACONIES ARE SHADED VIA ROOF OVERHANG.

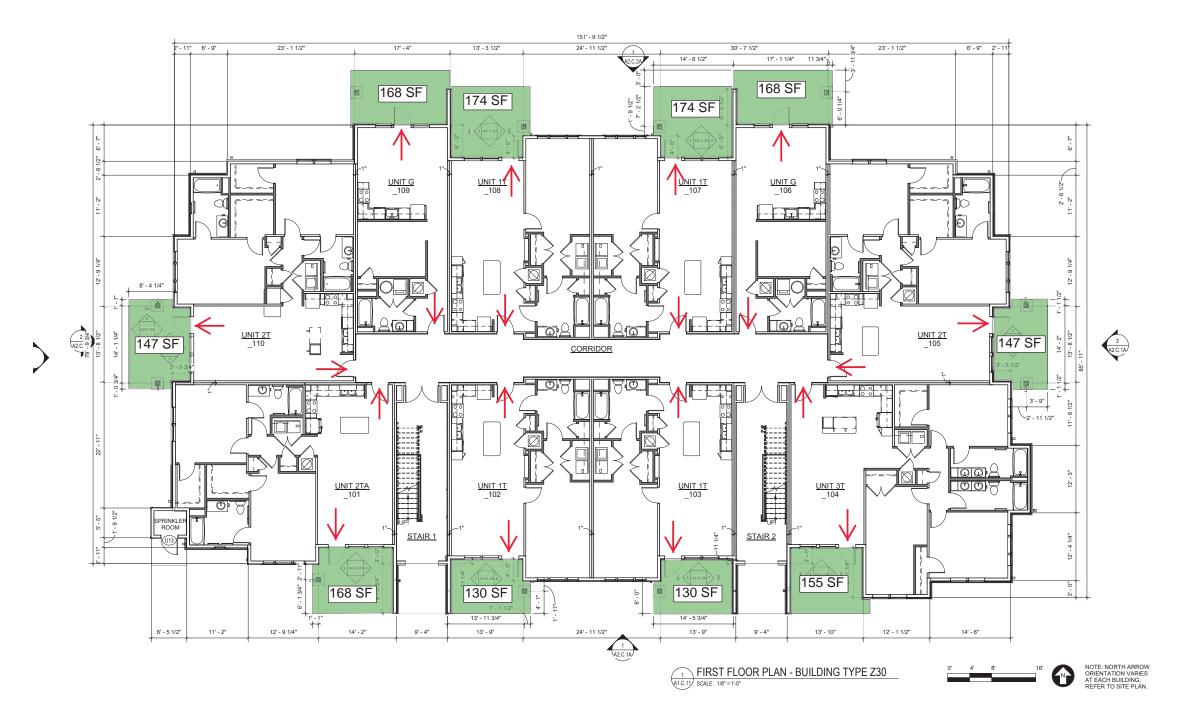


UNIT/PRIVATE OPEN SPACE ENTRANCE



SECOND FLOOR PRIVATE OPEN SPACE (BALCONY)

TWO-STORY BUILDING BUILDINGS 2, 3, AND 4 SECOND FLOOR



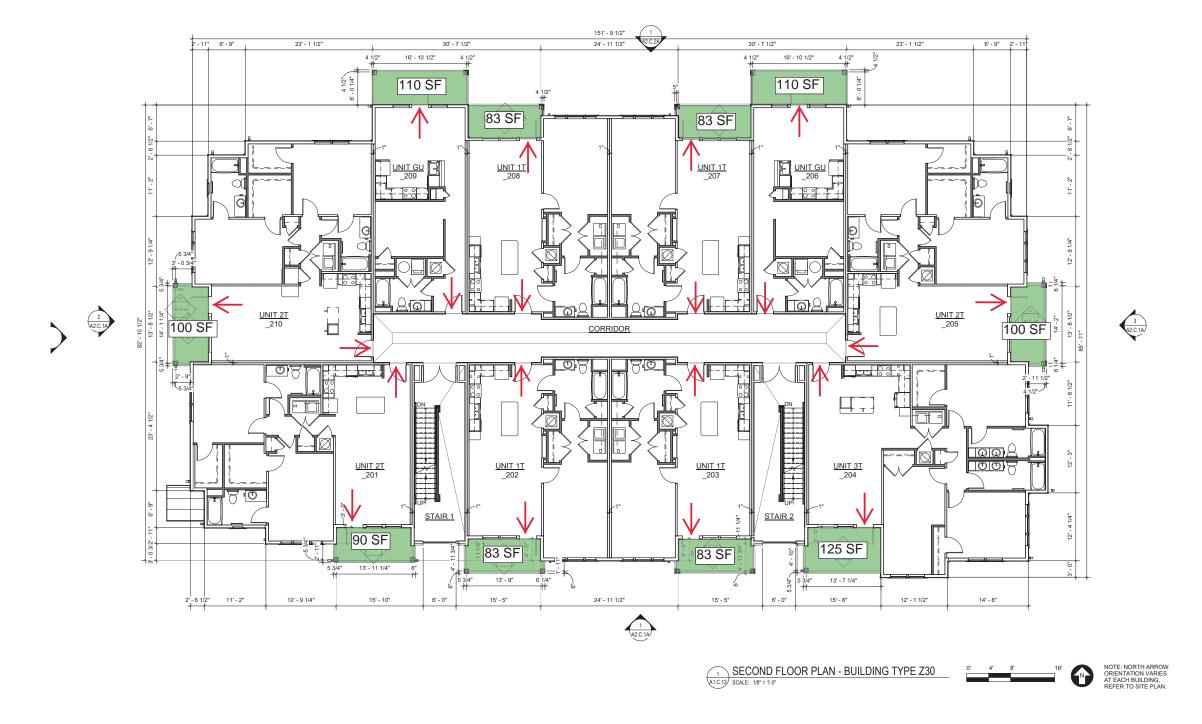
- 1) EACH FIRST FLOOR UNIT HAS A PRIVATE PATIO SPACE THAT MEETS THE MINIMUM SQUARE FOOTAGE PER MZO BASED ON UNIT TYPE.
- 2) ALL UNITS ARE ACCESSED VIA A SHARED, COVERED CORRIDOR. SHARED CORRIDOR IS ACCESSED THROUGH OPEN AIR ENTRIES ALONG THE STREET-FACING SIDE OF THE BUILDING.
- 3) ALL FIRST FLOOR PATIOS ARE SHADED VIA SECOND FLOOR BALCONY OVERHANGS.



UNIT/PRIVATE OPEN SPACE ENTRANCE



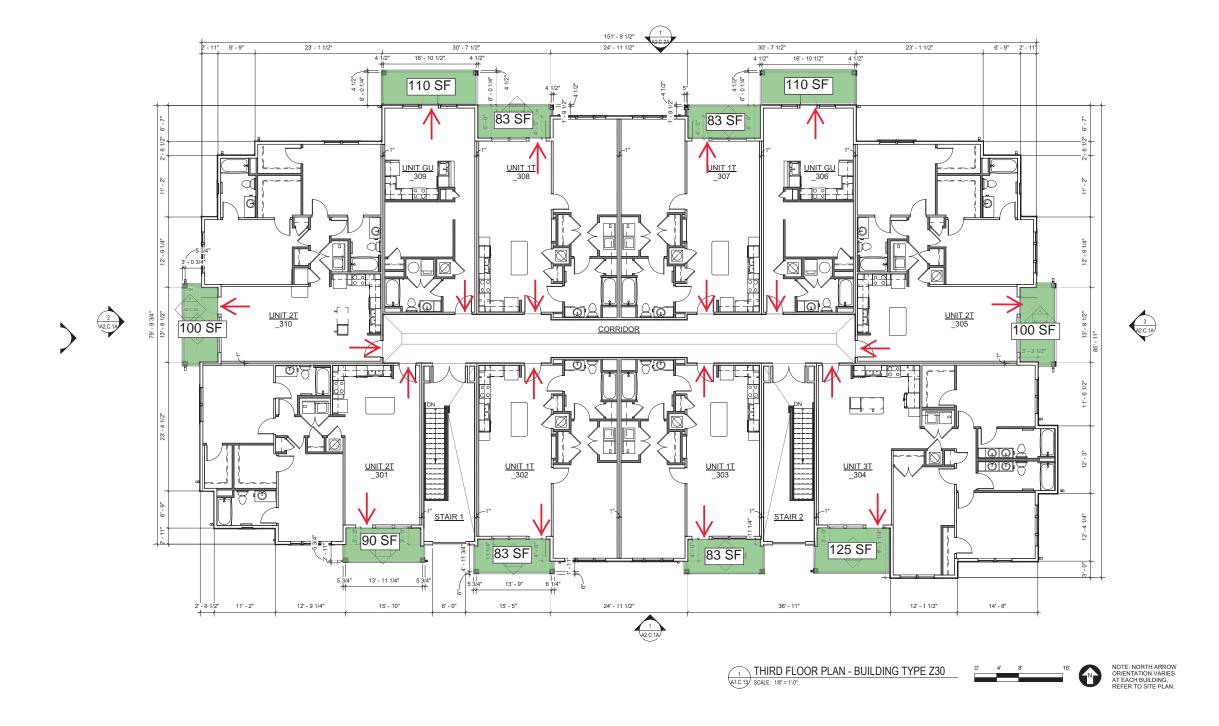
THREE-STORY BUILDING BUILDINGS 1, 5, 6, 7 FIRST FLOOR



- 1) ALL UNITS ARE ACCESSED VIA A SHARED, COVERED CORRIDOR. SHARED CORRIDOR IS ACCESSED THROUGH OPEN AIR ENTRIES ALONG THE STREET-FACING SIDE OF THE BUILDING.
- 2) EACH SECOND FLOOR UNIT HAS A PRIVATE BALCONY THAT MEETS THE MINIMUM SQUARE FOOTAGE PER MZO BASED ON UNIT TYPE.
- 3) ALL SECOND FLOOR BALCONIES ARE SHADED VIA ROOF OVERHANGS.



THREE-STORY BUILDING BUILDINGS 1, 5, 6, 7 SECOND FLOOR



- 1) ALL UNITS ARE ACCESSED VIA A SHARED, COVERED CORRIDOR. SHARED CORRIDOR IS ACCESSED THROUGH OPEN AIR ENTRIES ALONG THE STREET-FACING SIDE OF THE BUILDING.
- 2) EACH THIRD FLOOR UNIT HAS A PRIVATE BALCONY THAT MEETS THE MINIMUM SQUARE FOOTAGE PER MZO BASED ON UNIT TYPE.
- 3) ALL THIRD FLOOR BALCONIES ARE SHADED VIA ROOF OVERHANGS.



UNIT/PRIVATE OPEN SPACE ENTRANCE



SECOND FLOOR PRIVATE OPEN SPACE (BALCONY)

THREE-STORY BUILDING BUILDINGS 1, 5, 6, 7 THIRD FLOOR



Exhibit D

Common Open Space

