



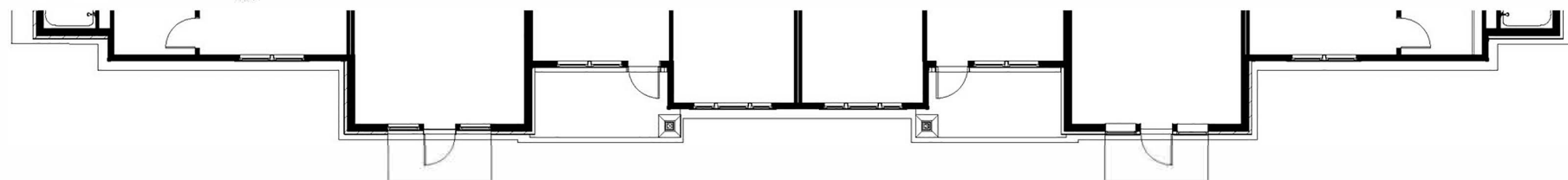
Front Elevation

SCALE: 1/16"=1'0"



Rear Elevation

SCALE: 1/16"=1'0"



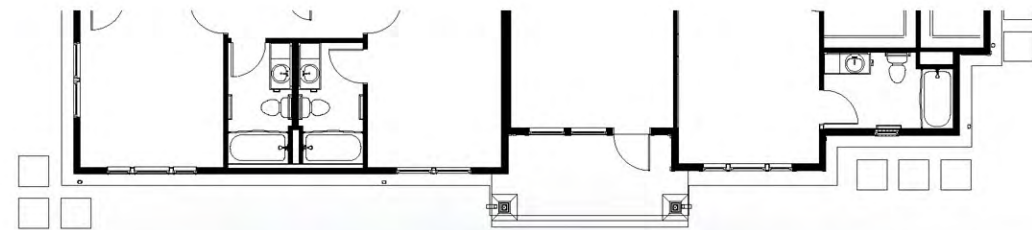
THREE-STORY BUILDING / SCHEME A / BUILDINGS 6 AND 7

12-13-2018



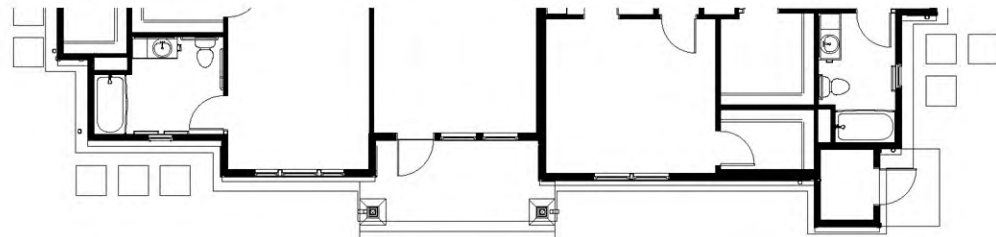
Right Elevation

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Left Elevation

SCALE: 1/16"=10'



Z30 BUILDING
12-13-2018



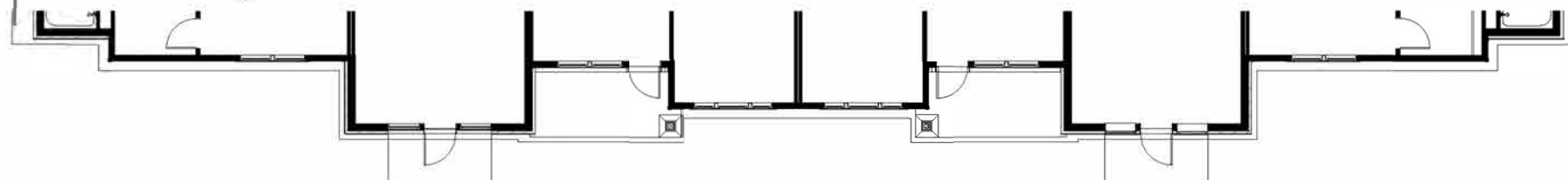
Front Elevation

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Rear Elevation

SCALE: 1/16"=1'-0"



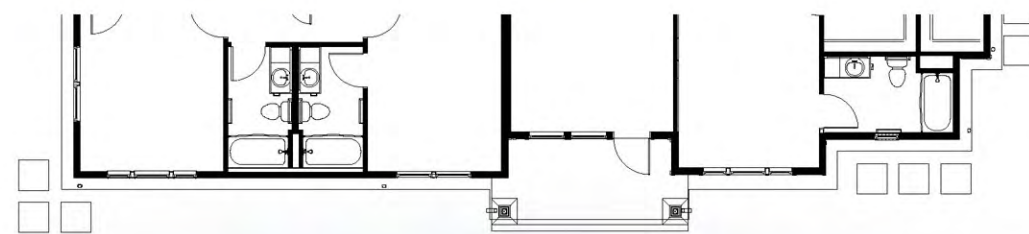
THREE-STORY BUILDING / SCHEME B / BUILDINGS 1 AND 5

12-13-2018



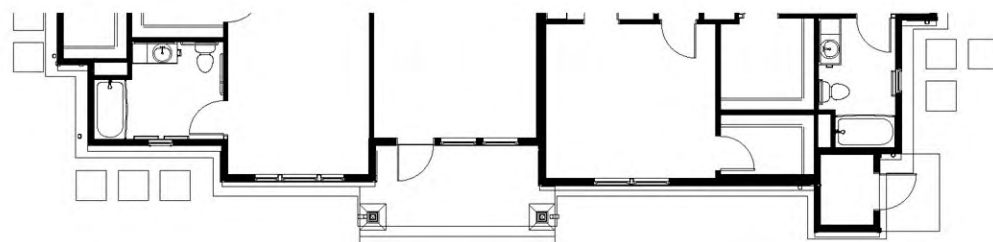
Right Elevation

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Left Elevation

SCALE: 1/16"=10'

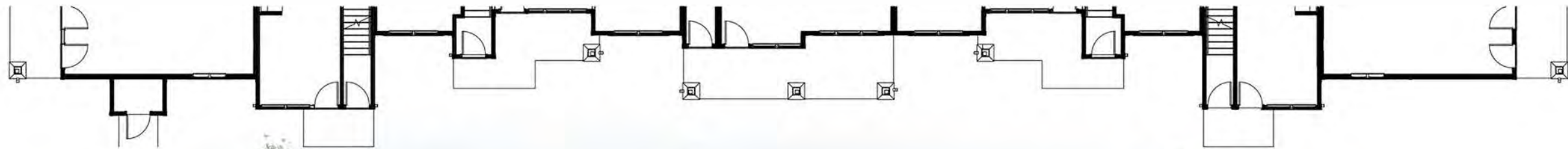


Z30 BUILDING
12-13-2018



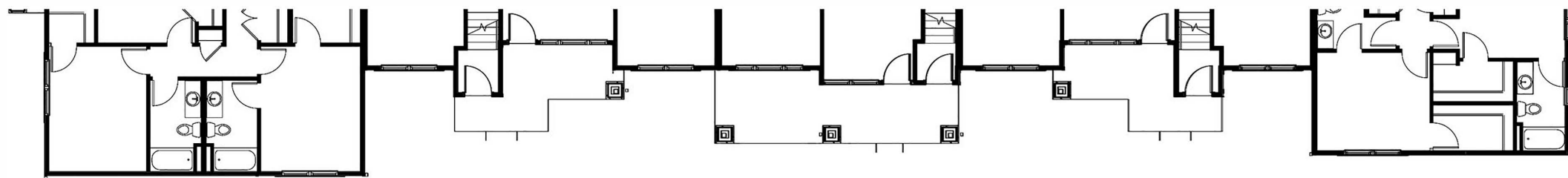
Front Elevation

SCALE: 1/16"=1'-0"



Rear Elevation

SCALE: 1/16"=1'-0"



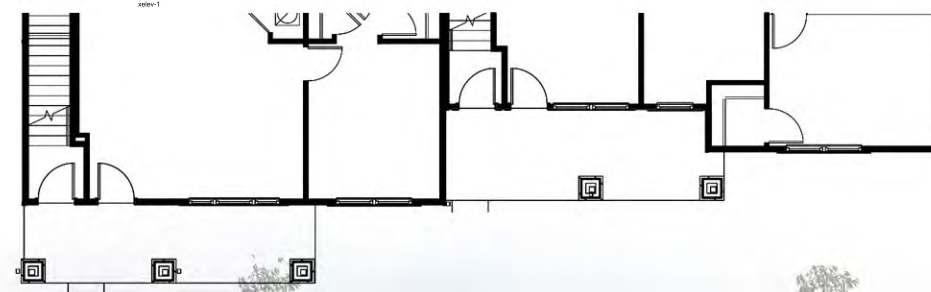
TWO-STORY BUILDING / SCHEME A / BUILDINGS 2 AND 4

12-13-2018



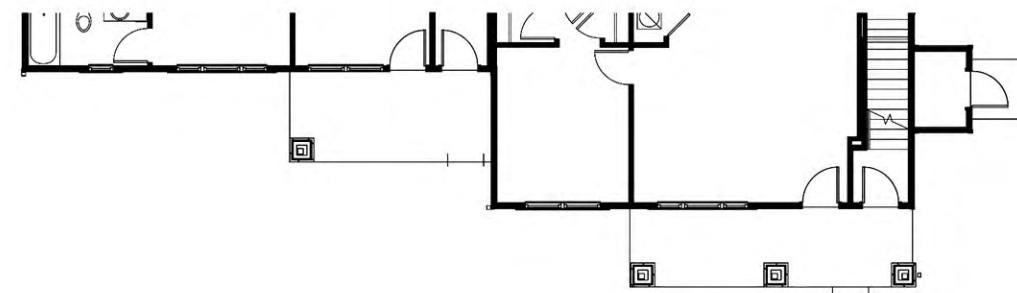
Right Elevation

SCALE: 1/16"=10'



Left Elevation

SCALE: 1/16"=10'

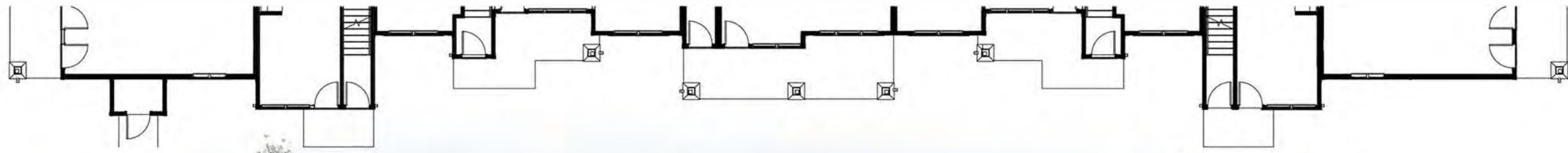


BUILDING G24
12-13-2018



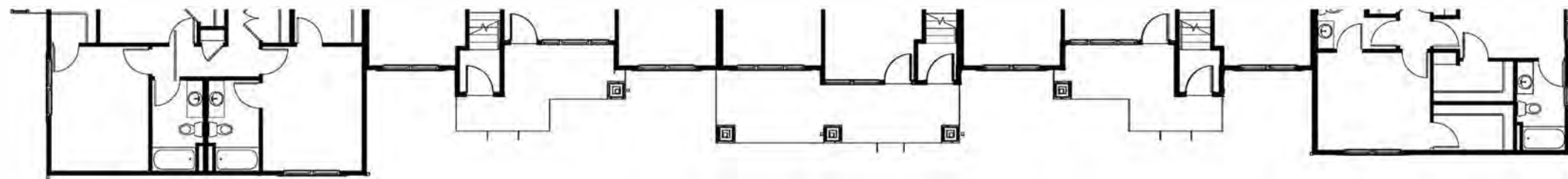
Front Elevation

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Rear Elevation

SCALE: 1/16"=1'-0"



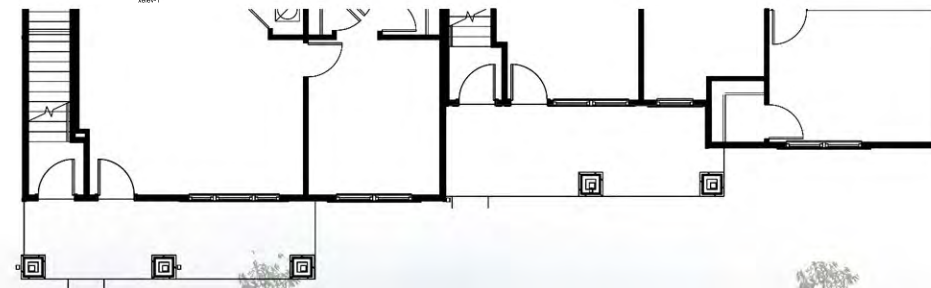
TWO-STORY BUILDING / SCHEME B / BUILDING 3

12-13-2018



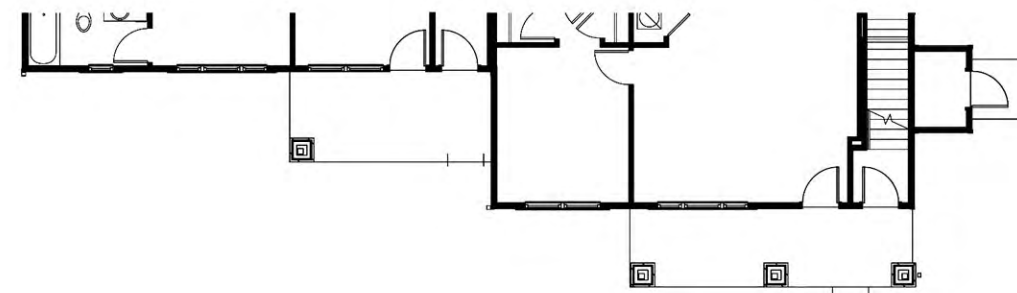
Right Elevation

SCALE: 1/16"=10'



Left Elevation

SCALE: 1/16"=10'

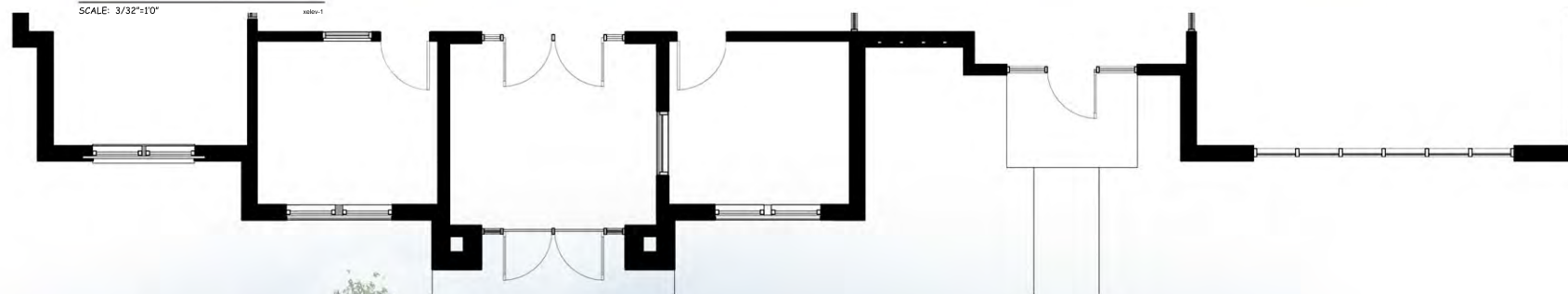


BUILDING G24
12-13-2018



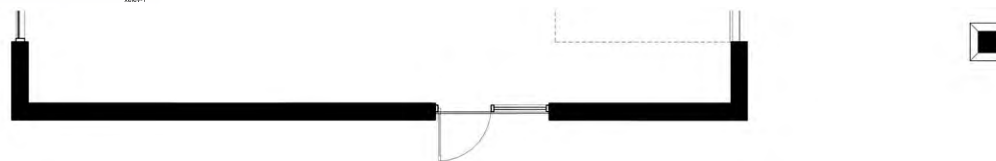
Front Elevation

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Right Side Elevation

SCALE: 3/32"=1'0"



CLUBHOUSE

4340 SQ FT

12-13-2018



Rear Elevation

SCALE: 3/32"=1'0" elev-1



Left Elevation

SCALE: 3/32"=1'0" elev-1



CLUBHOUSE

4340 SQ FT

12-13-2018



Front Elevation

SCALE: 3/32"=10" sheet-1

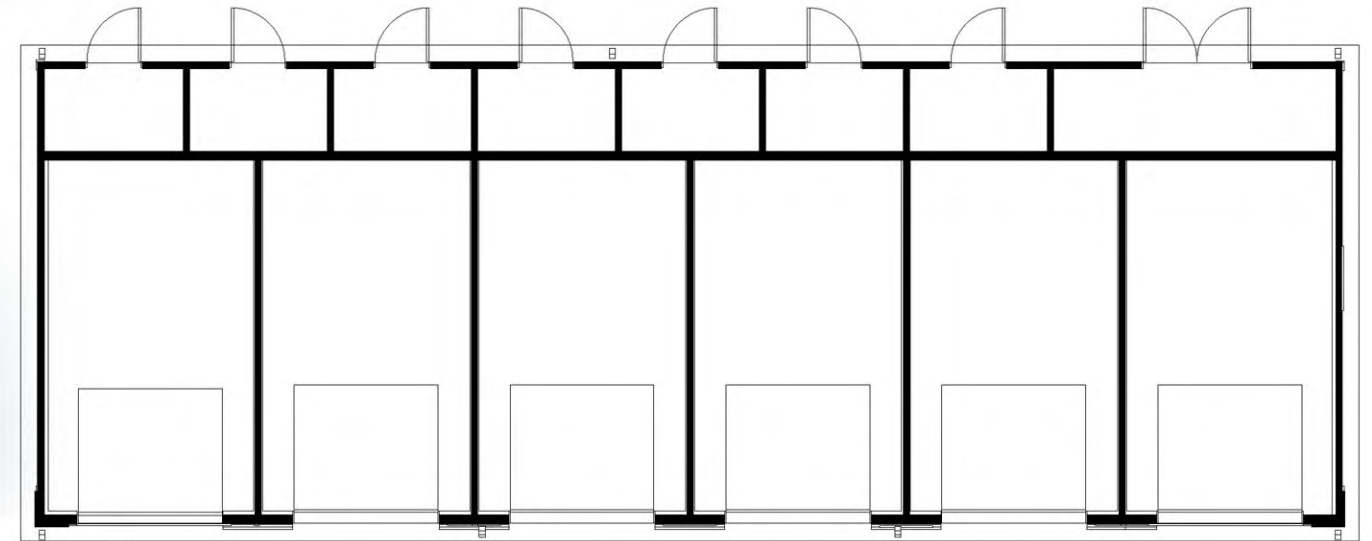


Left Elevation

SCALE: 3/32"=10" sheet-1

Right Elevation

SCALE: 3/32"=10" sheet-1



Floor Plan Elevation

SCALE: 3/32"=10" sheet-1



Rear Elevation

SCALE: 3/32"=10" sheet-1

6GS-2 GARAGE
12-13-2018



Front Elevation
SCALE: 3/32"=10' REV: 1

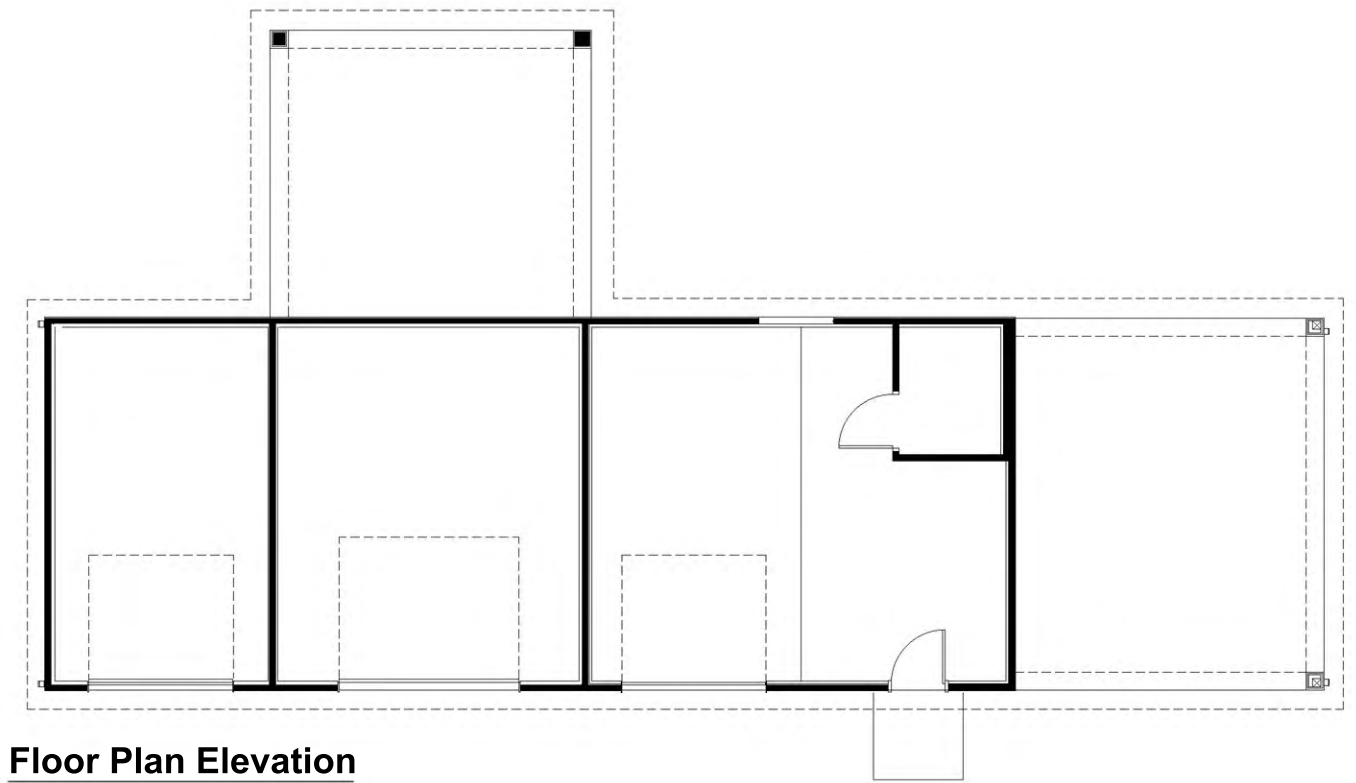


Left Elevation
SCALE: 3/32"=10' REV: 1

Right Elevation
SCALE: 3/32"=10' REV: 1



Rear Elevation
SCALE: 3/32"=10' REV: 1



Floor Plan Elevation
SCALE: 3/32"=10' REV: 1

MAINTENANCE BUILDING
12-13-2018



Front Elevation

SCALE: 3/32"=10" sheet-1



Left Elevation

SCALE: 3/32"=10" sheet-1

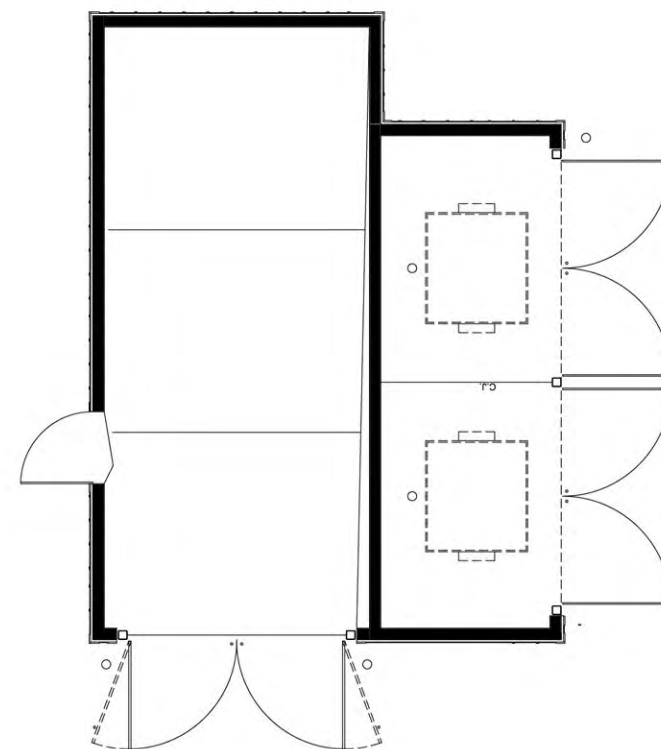
Right Elevation

SCALE: 3/32"=10" sheet-1



Rear Elevation

SCALE: 3/32"=10" sheet-1

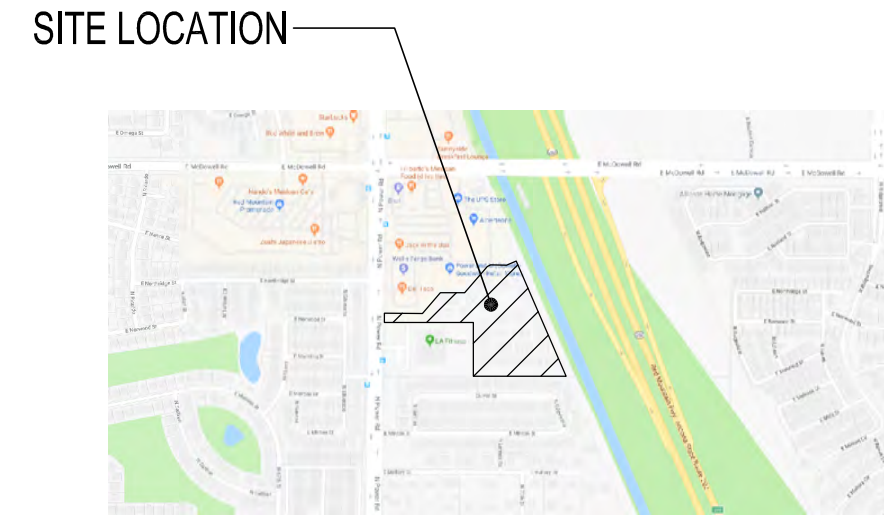


Floor Plan

SCALE: 3/32"=10" sheet-1

TRASH ENCLOSURE

12-13-2018



2 VICINITY MAP
SCALE: N.T.S.

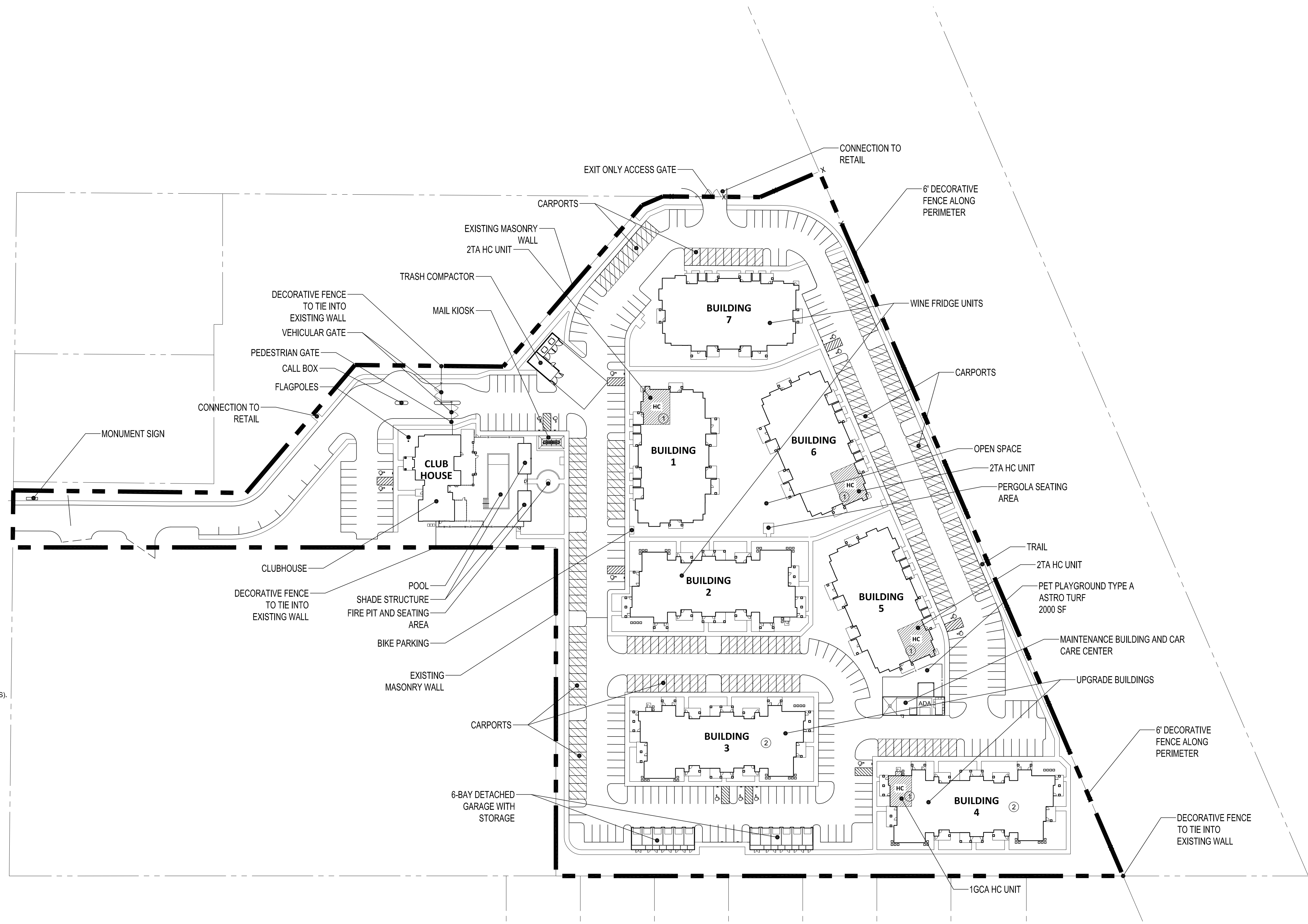
BUILDING NUMBER	BUILDING TYPE	BUILDING AREA (SQ.FT.)
1	BUILDING TYPE Z30	34,731
2	BUILDING TYPE G24E	24,458
3	BUILDING TYPE G24E	24,458
4	BUILDING TYPE G24E	24,458
5	BUILDING TYPE Z30	34,731
6	BUILDING TYPE Z30	34,731
7	BUILDING TYPE Z30	34,731
	MAINTENANCE / FHA GARAGE	1,505
	GARAGE 6GS (6 BAY w/ STORAGE)	1,834
	TRASH ENCLOSURE	854
	CLUBHOUSE	4,332
	MAIL KIOSK	72
TOTAL BUILDING AREA		220,895

UNIT TYPE	BEDRM QTY.	BATHRM QTY.	COND. SQFT	BLDG TYPE G24E UNIT QTY.	BLDG TYPE Z30E UNIT QTY.	TOTAL UNITS
1DC*	1	1	761	6	6	6
1DO	1	1	830	6	6	6
1GC*	1	1	780	5	5	5
1GCA**	1	1	780	1	1	1
1GO	1	1	855	6	6	6
2DC	2	2	1054	3	3	3
2DO	2	2	1123	3	3	3
2GC*	2	2	1029	12	12	12
2GO	2	2	1106	12	12	12
3GC*	3	2	1279	3	3	3
3GO	3	2	1346	3	3	3
S1*	1 (STUDIO)	1	518	6	6	6
SO	1 (STUDIO)	1	585	6	6	6
1T*	1	1	839		36	36
2T*	2	2	1164		24	24
2TA**	2	2	1164		3	3
3T*	3	2	1376		12	12
G*	1 (STUDIO)	1	605		6	6
GU	1 (STUDIO)	1	605		16	16
TOTALS			16589	72	75	147

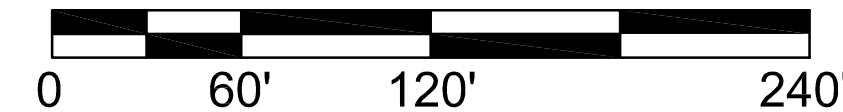
* ALL GROUND FLOOR UNITS TO COMPLY WITH THE FAIR HOUSING ACT (FHA UNITS).

** (8) UNITS (2% OF TOTAL UNITS) TO COMPLY WITH 1107.6.2.1 (ADA UNITS):
(2) 1GCA, (4) 2DCA, AND (2) 3GCA. SEE SITE PLAN FOR LOCATIONS.
2% OF RESIDENTIAL UNITS SHALL PROVIDE COMMUNICATION FEATURES COMPLYING WITH 233.4.1/809.5 (2010 ADA/AG ACCESSIBILITY CODE)

- ① ADA UNITS
- ② UPGRADE BUILDINGS



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 60'



ARCHITECTURE SITE PLAN FOR INFORMATION ONLY - REFER TO CIVIL



PHILLIPS
CONSULTANT

SEAL _____

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION
	11/29/18	DBR SET

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PROJECT _____

C452
FUND PROJECT

MESA, AZ

CLIENT _____



CONTINENTAL 452 FUND
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53052
262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER 1833112

ISSUE DATE 11/29/18

DRAWN BY/CHECKED BY CC/MT

DRAWING TITLE _____

ARCHITECTURAL
SITE PLAN

SHEET NUMBER _____

GO.10

5901 PEACHTREE DUNWOODY RD.
BUILDING A - SUITE 450
ATLANTA, GEORGIA 30328

PHILLIPSPART.COM 770-394-1610



PHILLIPS

CONSULTANT

SEAL _____

ISSUE & REVISION RECORD

DATE DESCRIPTION

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PROJECT _____

C452
FUND PROJECT

MESA, AZ

CLIENT _____



CONTINENTAL 452 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53052
262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER 1833112

ISSUE DATE 11/29/18

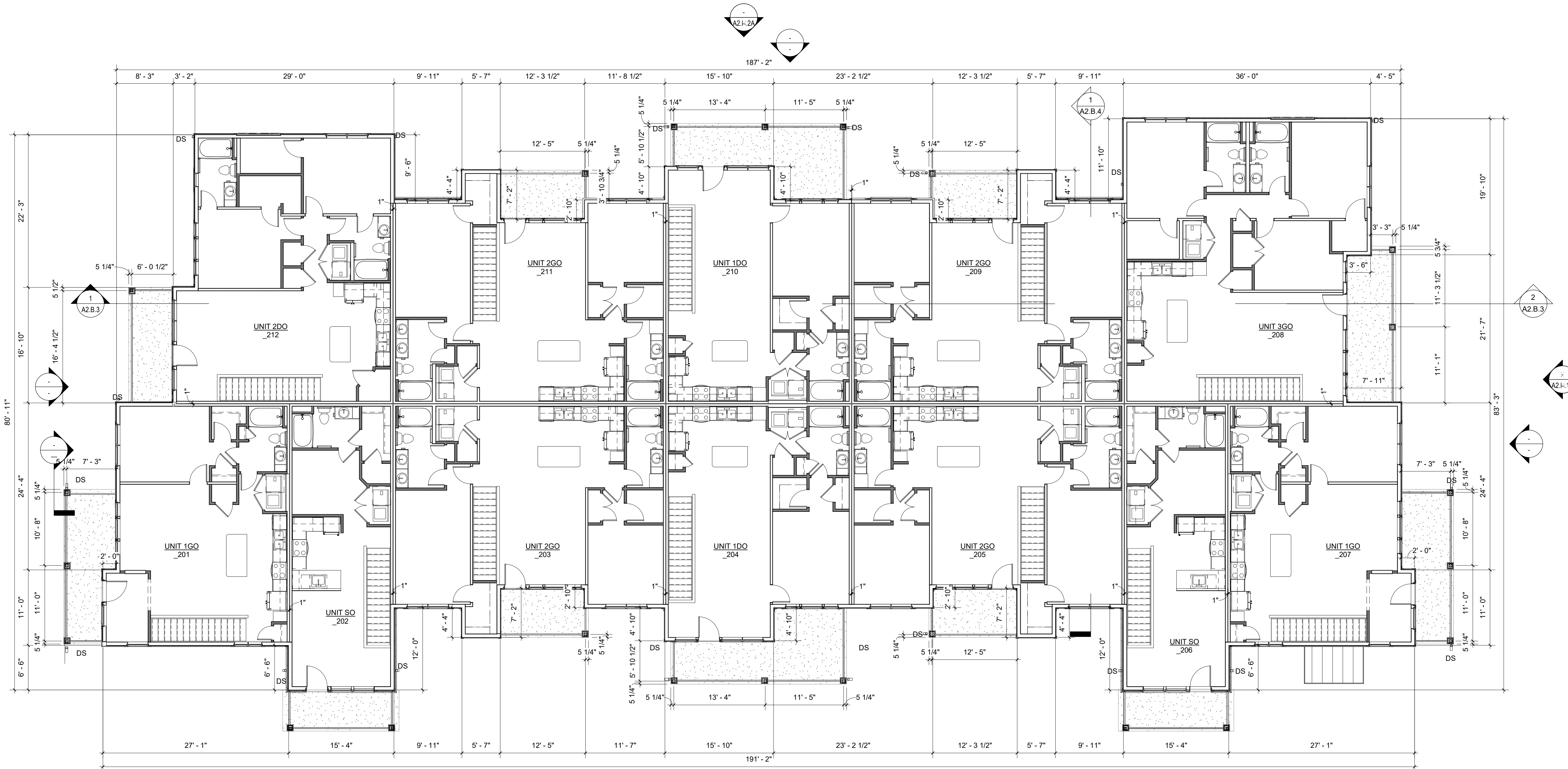
DRAWN BY/CHECKED BY CC / MT

DRAWING TITLE
SECOND FLOOR PLAN -
BUILDING TYPE G24

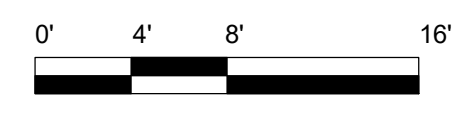
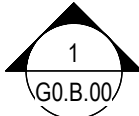
SHEET NUMBER _____

A1.B.12

5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSPART.COM 770-394-1616

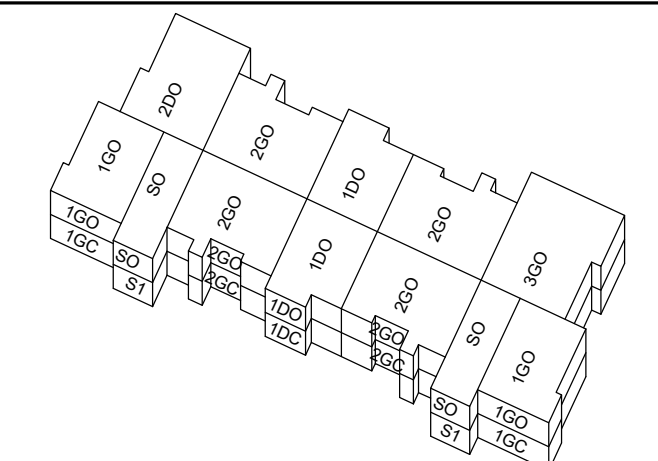


1 SECOND FLOOR PLAN - BUILDING TYPE G24
A1.B.12 SCALE: 1/8" = 1'-0"



NOTE: NORTH ARROW
ORIENTATION VARIES
AT EACH BUILDING.
REFER TO SITE PLAN.

BUILDING TYPE G24



NOTE: REFER
TO A4-SERIES
SHEETS FOR
UNIT FLOOR
PLAN
LAYOUTS

UNIT TYPE MATRIX PER BUILDING	1ST FLOOR	2ND FLOOR	TOTAL PER BLDG	BUILDING NUMBER			
				2	3	4	
UNIT 1DC	2	-	2				
UNIT 1DO	-	2	2				
UNIT 1GC	2	-	2				
UNIT 1GO	-	2	2				
UNIT S1	2	-	2				
UNIT SO	-	2	2				
UNIT 2DC	1	-	1				
UNIT 2DO	-	1	1				
UNIT 2GC	4	-	4				
UNIT 2GO	-	4	4				
UNIT 3GC	1	-	1				
UNIT 3GO	-	1	1				
TOTAL UNITS	12	12	24				



DATE	DESCRIPTION

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**C452
FUND PROJECT**

CLIENT _____
MESA, AZ



CONTINENTAL 452 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53052
262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER _____
1833112

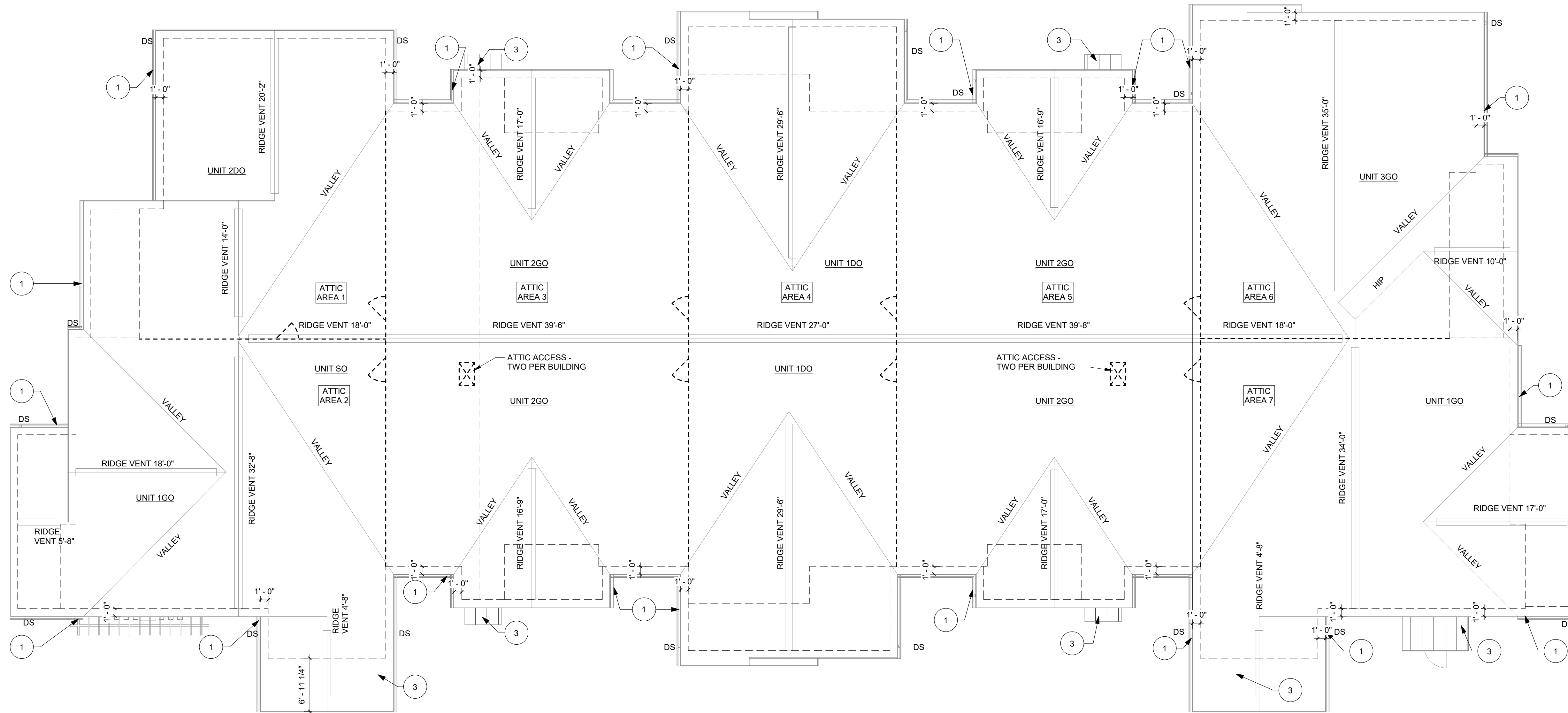
ISSUE DATE _____
11/29/18

DRAWN BY/CHECKED BY _____
CC / MT

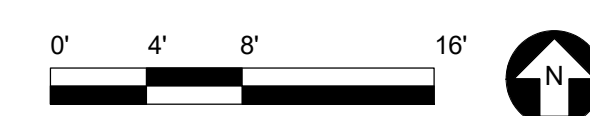
DRAWING TITLE _____
ROOF PLAN - BUILDING TYPE G24

SHEET NUMBER _____

A1.B.13



1 ROOF PLAN - BUILDING TYPE G24
A1.B.13 SCALE: 1/8" = 1'-0"

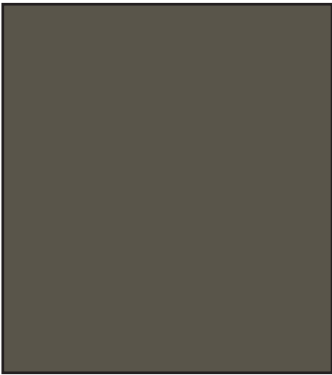


NOTE: NORTH ARROW ORIENTATION VARIES AT EACH BUILDING. REFER TO SITE PLAN.

ROOF NOTES	ROOF LEGEND
<p>1. GUTTER 1: TYPICAL GUTTER TO BE 6" PRE-FINISHED ALUMINUM w/ DRIP EDGE. SEE BUILDING ASSEMBLIES AND COMPONENTS LEGEND ON WALL SECTION SHEETS FOR ADDITIONAL INFORMATION.</p> <p>2. PROVIDE OPENINGS IN ROOF SHEATHING AS REQUIRED AT ALL OVER FRAMED GABLES TO ALLOW FOR ATTIC VENTILATION TO RIDGE VENT.</p> <p>3. SNAP CLAD 22 GAUGE STANDING SEAM ROOF SYSTEM AT ENTRY AND DORMER. TYPICAL COLOR: "GAVOLUME" - PROVIDE SAMPLE FOR OWNER APPROVAL.</p>	<p>DS DOWNSPOUT - 3x4 PRE-FINISHED ALUMINUM. TIE INTO STORM SYSTEM</p> <p>ATTIC ACCESS 22"x30" MIN. LOCKABLE, 1-HOUR RATED, WEATHERS STRIPPED, INSULATED TO R-38 PER IECC 2018 402.1.3. REFER TO DETAIL 16/A5.27</p> <p>DRAFTSTOPPING IN ATTIC AREA. REFER TO FIRE BLOCKING AND DRAFTSTOPPING NOTES ON SHEET G0.20 AND 2/A3.13 & 3/A3.13</p> <p>22"x30" MIN. ACCESS DOOR INSTALLED VERTICALLY IN DRAFTSTOPPING w/ SELF CLOSING HINGES.</p>

SPRINGS AT RED MOUNTAIN ELEVATION COLOR SCHEME

COLOR SCHEME A: Buildings 2,4,6,7



SW 2846
Roycroft Bronze Green
Siding



SW 7514
Foothills
Garage Doors

COLOR SCHEME B: Buildings 1,3,5



SW 7514
Foothills
Siding and Garage Doors



SW 2846
Roycroft Bronze Green
Unit Door Color

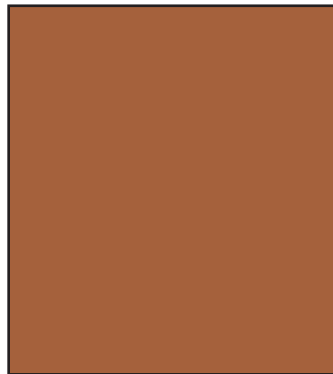
STONE-BOTH SCHEMES



Coronado Series
Cape Cod Grey
Stacked Stone



SW 2821
Downing Stone
Siding

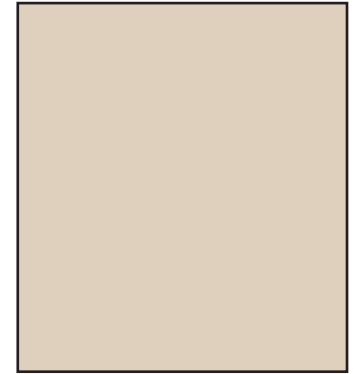


SW 6356
Copper Mountain
Unit Door Color



SW 6143
Basket Beige
Siding

TRIM-BOTH SCHEMES



SW 6148
Wool Skein



December 14, 2018

Re: Springs at Red Mountain – Project Narrative
Applicant: Continental 452 Fund LLC
PAD and Design Review Board Submittal
PRS18-00244

Introduction

Continental 452 Fund LLC (“Continental”) is pursuing the acquisition of approximately 10.43 acres of land near located at 2639 N Power Road (“Site”) in the City of Mesa, AZ (“City”) for its proposed multifamily community to be known as the Springs at Red Mountain (“Springs”). Continental’s proposed Springs community is an upscale, market-rate 192-unit multifamily community consisting of seven (7) residential buildings, clubhouse, pet playground, both attached and detached garages, and other tenant amenities. The Springs community will total 10.43 acres with a density of approximately 18.41 units per acre. Please accept this project narrative and accompanying PAD and Design Review Board submittal materials.

Springs at Red Mountain

Site Plan & Landscaping

Over the past few months, Continental has taken efforts to meet with adjacent property owners and neighbors to ensure that a compatible, cohesive site plan can be achieved. To date, Continental has held two informational neighborhood meetings to get feedback and input from adjacent property owners. A detailed outline of the items discussed at the neighborhood meetings and a description of the site plan changes made as a result are noted in the accompanying Citizen Participation Plan. Continental has made multiple site plan revisions to ensure that comments received at these neighborhood meetings have been addressed appropriately.

The Springs community will offer a combination of four (4) three-story apartment buildings and three (3) two-story apartment buildings, totaling 192 units. The three-story buildings are strategically located on the northern portion of the Site and the two-story buildings are situated on the southern portion of the Site to mitigate perceived view corridors and visual impacts to the single-family properties to the south. The two southern apartment buildings are situated approximately 40 and 108 feet from the shared southern property boundary with the single-family community. The larger building setback provides greater privacy and provides additional landscape buffer area for trees and shrubs to block views from apartment buildings. A portion of this building setback exceeds the existing 75-foot building setback established in the approved 2005 zoning case and exceeds the 30-foot minimum setback per RM-3 standards. Building 3 will have a parking aisle and covered parking structures between the building and the south property line. Building 4 will back onto a wide landscaped area. Special attention will be paid to this southern landscape buffer. Two rows of trees will be added with special emphasis on staggered placement to screen views to and from the south. An existing 6-foot masonry wall currently separates the single-family community from the Site.



The design of the Springs community lends itself well to providing a very walkable and pedestrian friendly community. Connectivity among buildings and tenant amenities is provided on-site through sidewalks and pedestrian connections to Power Road and the existing retail adjacent to the north of the Site. Open space is provided on-site through common courtyards and other on-site tenant amenities, including a clubhouse, picnic areas, storage lockers, pool, fire pit, grilling stations, fitness center, and pet playgrounds.

The Springs community is a gated community with ample tenant parking to avoid tenant parking spilling over onto adjacent streets. The community will be accessed by an existing curb cut on Power Road. A secondary emergency access gate is provided on the northern end of the Site near Albertsons via an existing emergency access easement as a second point of access for emergency vehicles. All service and maintenance related amenities (such as trash and mail services) are screened from the public's view via landscaping and building placement and are centrally located within the Site for safe and convenient access. Parking and detached garages face interior to the development and are screened from the public's view via landscaping and an existing 6-foot masonry wall surrounding the Site. Lighting is designed to minimize any spillage of light onto adjacent properties while also providing adequate lighting along pedestrian paths. All on-ground HVAC units and meters are proposed to be screened via landscape screening, including shrubs and grasses that will provide year-round screening as shown in **Exhibit A**. Landscaping within the community will be designed to meet the standards set forth per MZO and will include building foundation plantings, open space plantings, and parking lot plantings. Other site details are included as **Exhibit B**.

Interiors

The Springs community will contain a mixture of studio, 1-, 2-, and 3-bedroom units in seven (7) residential buildings. Unit floor plans offer an open-living concept with interiors that include dark wood cabinetry, stainless steel appliances, granite countertops and backsplashes, luxury wood grain flooring, and large kitchen islands in units. Washers and driers are also included in each unit. Each unit is also provided with private access to its respective private patio or balcony space per MZO standards.

Architecture and Exteriors

The Springs community will offer a combination of three- and two-story residential structures. Two-story residential buildings feature private, ground level, direct entries to each unit, providing a similar style to a townhome. Second floor units in these two-story buildings have their own private staircases leading to the unit. This distinctive design will further bring a quality, new style of residential living into the surrounding area. Three-story residential buildings feature covered, common corridors, provided shaded entries into each unit. This shared corridor is accessed through open-air entries along the street-facing side of the building. Per MZO standards, the two-story buildings are 25.5 feet in height and the three-story buildings are 37.8 feet in height, below the 40-foot building height maximum per RM-3 standards. The combination of three- and two-story buildings provide a variety of unit types and floor plans for tenants.



Exterior elevations provide architectural interest through varied rooflines and quality, durable building materials, including stone masonry and stucco siding on all buildings. Alongside a complementary color palette, roof accents over unit entries bring additional articulation to the buildings. Large-scale windows are provided in each unit to promote natural lighting. Each building provides articulation to break up the structure’s massing by incorporating balconies, covered doorways and patios, and unit projections to create variation with each façade, providing a human scale to the community. All ancillary structures also feature the same quality and durable materials.

Tenant Amenities

Several amenities are included within the Springs community. Among the facilities are a 4,000+ square foot clubhouse, pedestrian sidewalks throughout the community, seating and picnic areas, perimeter walking trail, a car care area, a pet wash station, storage lockers, grilling areas, bike parking, and a pet playground. The clubhouse includes a large gathering room, 24-hour fitness center, kitchen area, coffee bar, fire pit, pergola area, and office space for Continental’s property management team. A pool and sun deck for the residents are provided behind the clubhouse along with an outdoor grilling area. The fitness room features a large garage-style door which may be opened during warmer months for an open-air workout area. The clubhouse and pool area are served by wireless internet service. Continental’s on-site management team also offers a concierge trash service to its tenants in which Continental’s staff will collect and dispose of trash from the tenants to the trash and receptacle area near the clubhouse.

Open Space

Both private and common open space amenities are provided for all tenants in the community. Private open space is provided through private patio and balcony spaces for all units. All private patio and balcony open spaces meet or, in most cases, exceed the minimum square footage requirements per MZO based on unit type. All private open space areas are further shown in **Exhibit C**. Common open space amenities are also provided in the clubhouse, including a large gathering room, 24-hour fitness center, kitchen area, coffee bar, pool and sun deck, and outdoor grilling area. The community will also feature a fire pit area, perimeter walking trail, and a fenced pet playground area. Open courtyard areas also provide opportunities for both passive and active recreation. All common open space areas are further shown in **Exhibit D**. The table below identifies the required open space per MZO standards and identifies the private and common open space area that will be provided in the community.

Open Space Calculations	
Required Open Space	33,600 SF
Private Open Space Provided	24,874 SF
Common Open Space Provided	101,494 SF
Total Open Space Provided	126,368 SF

Unusual Site Constraints

The site is currently accessed via an existing curb cut, providing right-in, right-out access on Power Road. Vehicles traveling southbound on Power Road can access the Site through the LA Fitness, which was designed years ago to accommodate traffic to both its property and this subject property. Vehicles entering LA Fitness property will follow an existing access easement that leads to a traffic circle that LA Fitness built, which will manage access to and from both properties. Majority of the Site's perimeter is currently bordered by an existing 6-foot masonry wall. An existing chain-link fence borders and runs along the eastern property boundary adjacent to the canal. The chain-link fence is situated a couple feet off the Site and lies on the adjacent property. An existing emergency access easement (Doc. 2007-0277364) located on the northern portion of the Site adjacent to Albertsons provides a second point of emergency access.

Pre-Submittal Comments

The sections below address certain comments and items discussed at the pre-submittal conference.

Compliance with General Plan & Objectives

The existing General Plan character area designation on the Site is Mixed Use Activity District with a small portion of the Site identified as Neighborhood/Suburban. The General Plan states that neighborhoods are the foundation of communities and cities where people want to live, work, and play. The proposed Springs community helps accomplish this by focusing on the following:

1. Ensure neighborhoods are safe, clean, and provide a healthy living environment: Continental is unique in that Continental develops, owns, and manages all its Springs apartment communities. Continental does not hire any third-party management companies to manage or maintain the communities Continental develops. Continental has its own full-time management and leasing staff on-site to handle all day-to-day maintenance and leasing operations. This ensures that the community is managed and maintained to the standards and high level of quality that Continental expects in all of its communities. Typical on-site staff include property managers, assistant property managers, leasing associates, and 24-hour maintenance staff. This ensures that the Springs community will be a safe, clean, and comfortable living environment.
2. Build community and foster social interaction: Continental strives to be a good neighbor and a pillar in the community it serves. Every Springs community has a Springs Cares Program. Springs staff partners with local charitable, non-profit organizations to support causes and objectives within each community. Springs staff, residents, and local sponsors will host a variety of events that benefit deserving local charities. The proposed Springs community will also feature common open space area for tenants, including a clubhouse, pet playground, pool, grilling areas, fire pit, perimeter pedestrian trail, and picnic areas that provide opportunities for social interaction and group activities.

3. Improve connectivity and walkability: The design of the Springs community lends itself well to providing a very walkable and pedestrian friendly community. Connectivity among buildings and tenant amenities is provided on-site through sidewalks, as well as pedestrian connections to Power Road and sidewalk connections to the existing retail adjacent to the Site. All sidewalks within the Springs community are designed to be ADA compliant, providing access for all individuals to on-site amenities.
4. Provide for diversity: The design of the Springs community and variety of building and unit types provide a unique, quality housing opportunity to a wide variety of people. The Springs community will provide studio, 1-, 2-, and 3-bedroom units, catering to a wide variety of possible tenants. Throughout Continental's Springs portfolio, majority of Springs residents work in a wide variety of fields, such as education, health care, manufacturing, technology, finance, service industries, and local police and fire departments. Springs residents are typically young professionals who want quality housing before purchasing a unit or empty nesters who are maybe looking to downsize but still want a quality housing opportunity that requires less maintenance than owning a unit. The private, direct access to all units in the two-story buildings provide convenient access to those with mobility concerns as well. Certain first-floor units are designed to be ADA Type A accessible. All other first-floor units are designed to be ADA Type B accessible so that these certain units can be converted to be fully ADA Type A compliant if necessary. The unique product type and variety of unit types ensure that varieties of tenants are provided with a quality housing opportunity.
5. Encourage development of neighborhood character and personality: As previously mentioned, on-site Springs staff look to create local partnerships and become active in the community in which it serves. These helps create neighborhood character and provide a stronger sense of community with nearby, existing retailers and residents.
6. Maintain standards for quality design and development: The Springs community is designed to provide a quality design and quality overall development. Durable building materials, such as stone masonry and stucco, ensure that buildings are of good quality and material. Large patios, balconies, windows, complementary color palettes, and unit projections/recessions provide articulation, character, and pedestrian scale to the buildings. Balconies, patios, and other tenant amenities are provided to encourage active and passive recreation. These features ensure that the Springs community is a quality, unique residential community serving the area's existing and future retailers and employers while providing a true community atmosphere.

Zoning Compliance & Setbacks

The Site is currently zoned RM-3 PAD – Residential Multiple Dwelling. This zoning classification allows for multifamily developments between 15-20 units per acre. The proposed Springs community consists of 192 units on 10.43 acres with a density of 18.41 units per acre, within the allowable range per RM-3 standards. Continental understands that as part of its project approvals, a new PAD must be established to replace the existing condominium PAD overlay approved in 2005.



The table below shows the proposed building, parking, and sidewalk setbacks along the property boundaries as part of this PAD submittal and as shown in the PAD plan sheets.

Perimeter Setbacks		
Southern Property Line (Adjacent to single-family)	Building (Detached Garage)	30 feet
	Building (Apartment Building)	38.2 feet
	Sidewalk	24.5 feet
	Parking	38 feet
Southern Property Boundary (Adjacent to LA Fitness)	Building (Clubhouse)	30 feet
	Sidewalk	9.4 feet
	Parking	9.6 feet
Eastern Property Boundary (Adjacent to canal)	Building (Apartment Building)	26.3 feet
	Sidewalk	4.5 feet
	Parking	10 feet
Northern Property Boundary (Adjacent to Albertsons, Goodwill, and Del Taco)	Sidewalk	4.3 feet
	Parking	15 feet
	Monument Sign	5 feet
Western Property Boundary (Along Power Road)	Monument Sign	15 feet
Western Property Boundary (Adjacent to LA Fitness)	Sidewalk	9.5 feet
	Parking	15 feet

Site Plan Comments

Since the initial pre-submittal meeting, several site plan changes have been made based on feedback received from both City of Mesa staff and adjacent neighbors. The number of apartment buildings have been reduced from nine (9) to seven (7) residential buildings and great apartment building separation and landscape buffering was implemented along the southern property boundary adjacent to the existing single-family community. Sidewalk connectivity has been provided to Power Road and the commercial center to the north at the existing breaks in the existing masonry wall separating the Site from the commercial development. Both private open spaces, in the form of balconies and patio, and common open spaces, in the form of the clubhouse, pool, grilling stations, pet playground, and perimeter walking trail, have been provided and exceed the required open space areas per RM-3 standards. Apartment building locations have been revised to provide common corridors.



Landscape islands and proposed Site landscaping is designed to meet MZO standards. Stormwater detention has been moved underground to maximize the Site to provide adequate areas for landscape screening and grading.

Elevation Comments

Additionally, several building elevation modifications have been made based on feedback received from Mesa staff. All unit entries are covered, either by balcony/roof overhangs or by shaded common corridors. Building finishes have been modified to include stone masonry and stucco, ensuring that building materials will be durable in the Arizona climate. All exposed wood elements have been covered or removed. Also, building elevations have been modified to provide covered, private patios or balconies for all units.

Conclusion

In conclusion, the proposed Springs community will benefit the City and the surrounding retail and office community. The community will help meet the demand for rental housing in the Mesa area while providing a unique, quality housing opportunity for employers and residents. The proximity to existing retail will increase City sales tax collection and will help draw future retailers to the area. The community will provide a live, work, play lifestyle option, strengthening the mixed-use character of the area and provide tenants with nearby retail, restaurant, and entertainment opportunities. Thank you for considering this PAD and Design Review Board submittal and please let me know if there are any questions on the items enclosed. I look forward to working with the City.

Sincerely,

A handwritten signature in black ink that reads "Eric Gumm".

Eric Gumm
Development Director
Continental 452 Fund LLC
(262) 532-9332
egumm@cproperties.com



Exhibit A

AC and HVAC Unit Screening



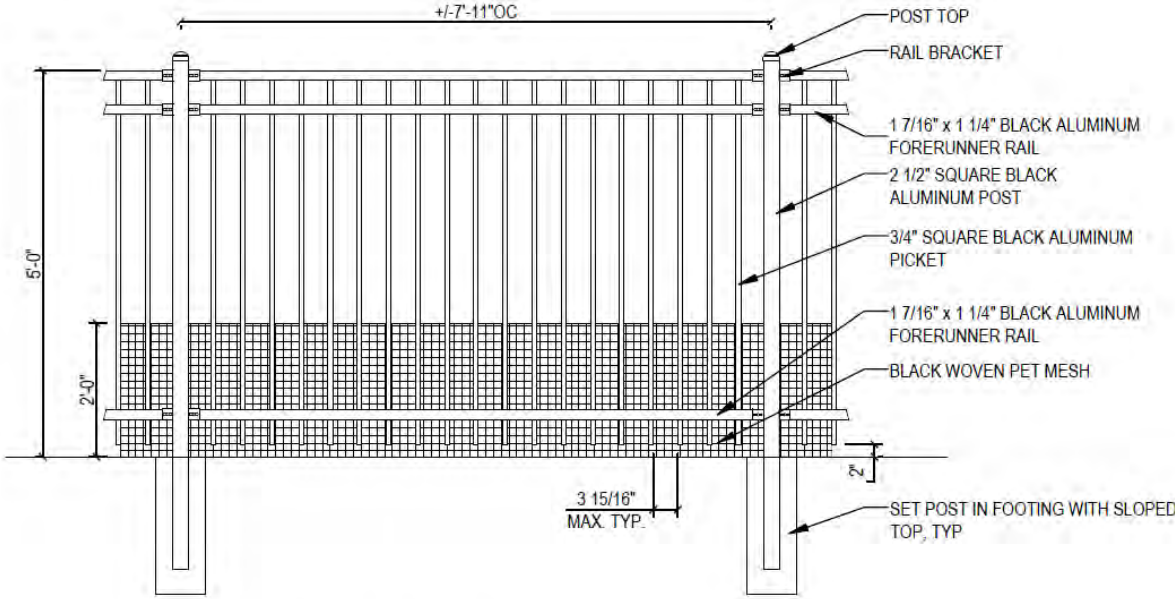
DETAIL VIEW



G24 BUILDING ELEVATION WITH AC SCREENING
BUILDING ELEVATION COLORS ARE CONCEPTUAL AND SUBJECT TO CHANGE

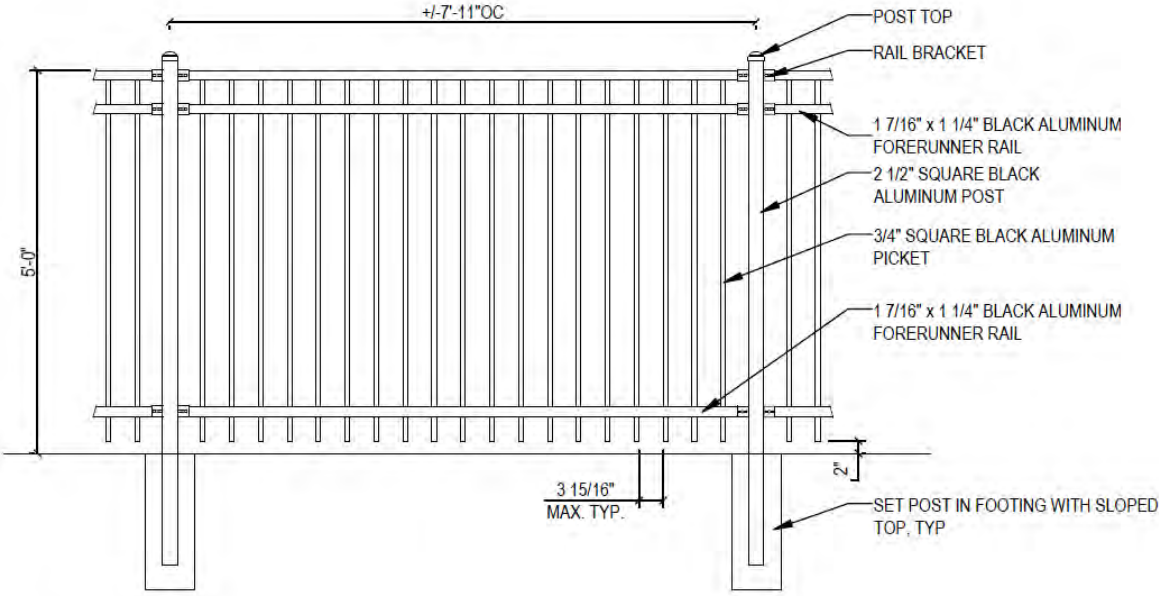
Exhibit B

Site Details



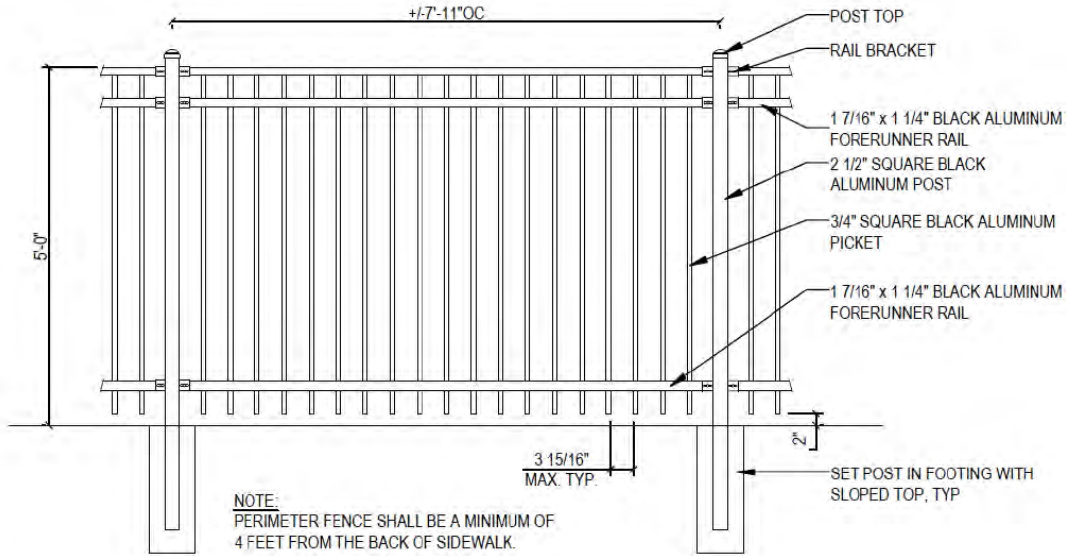
1 PET PLAYGROUND FENCE

NOT TO SCALE



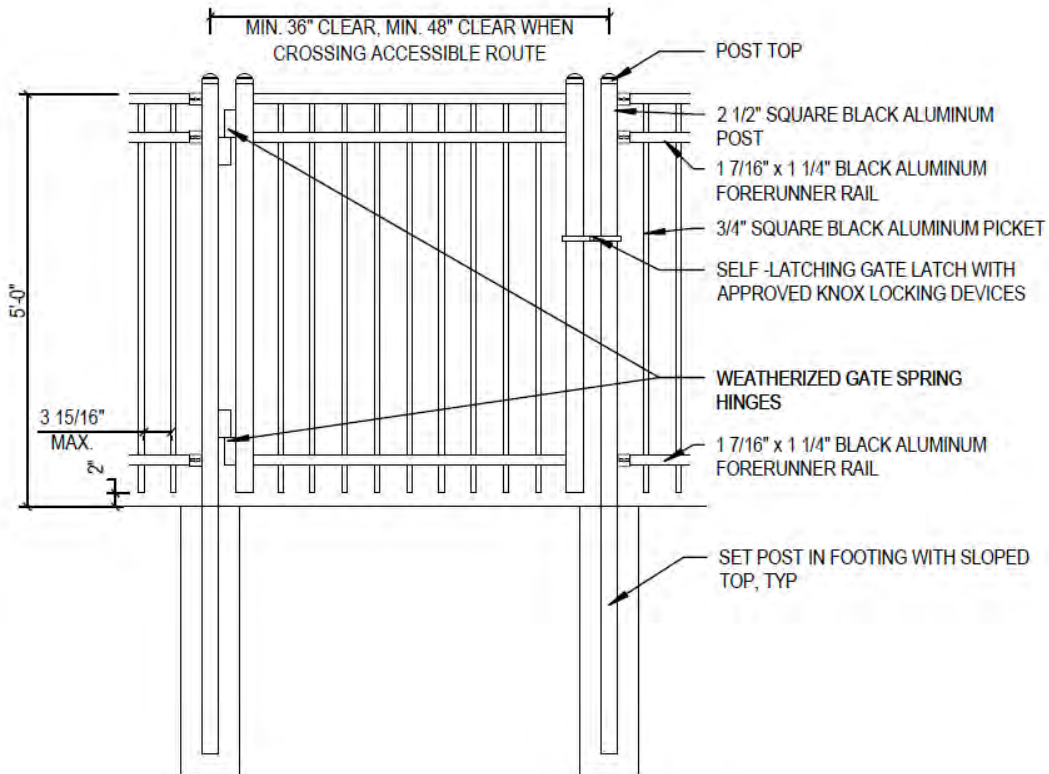
3 POOL FENCE

NOT TO SCALE



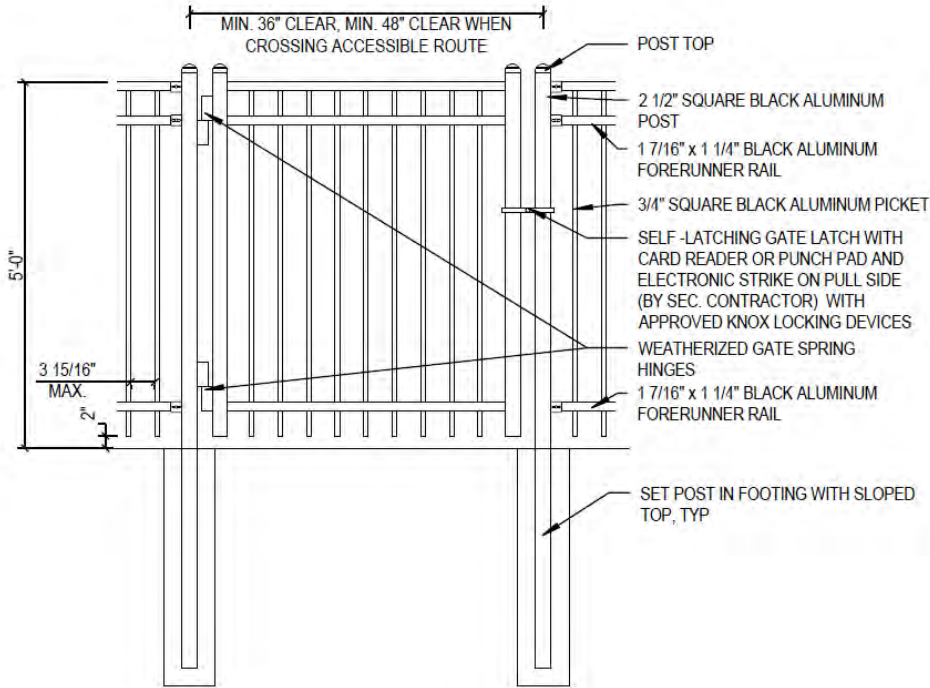
2 PERIMETER & YARD FENCE

NOT TO SCALE



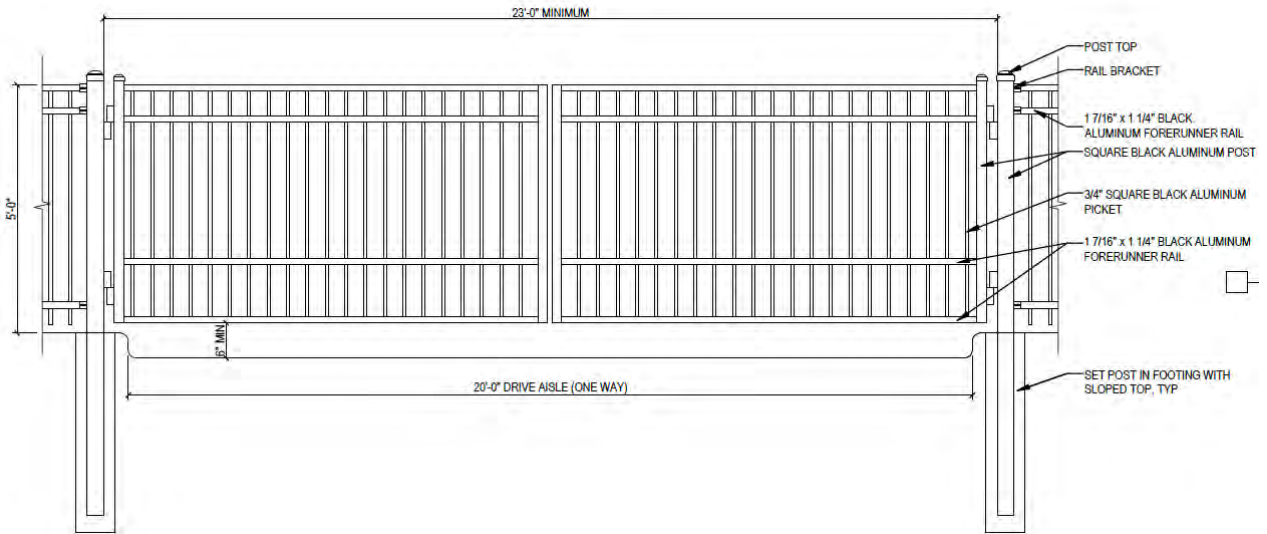
4 YARD & PET PLAYGROUND GATE

NOT TO SCALE

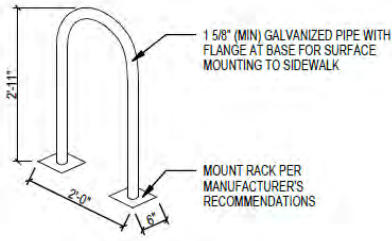


⑤ PERIMETER & POOL GATE

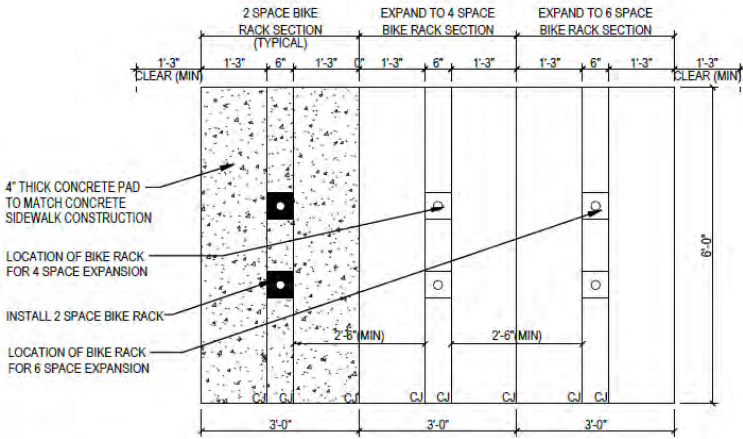
NOT TO SCALE



⑤ DOUBLE SWING ENTRY GATE



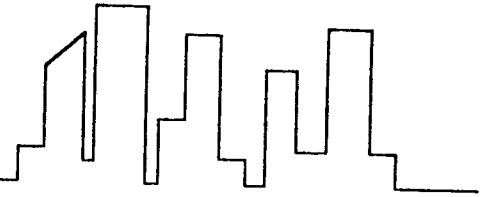
NOTE: POUR 6'-0" X 9'-0" CONCRETE PAD. INSTALL 2 SPACE BIKE RACK. EXPAND AS NECESSARY TO 4 OR 6 SPACE RACK PER OWNER DIRECTION.



3 BIKE RACK

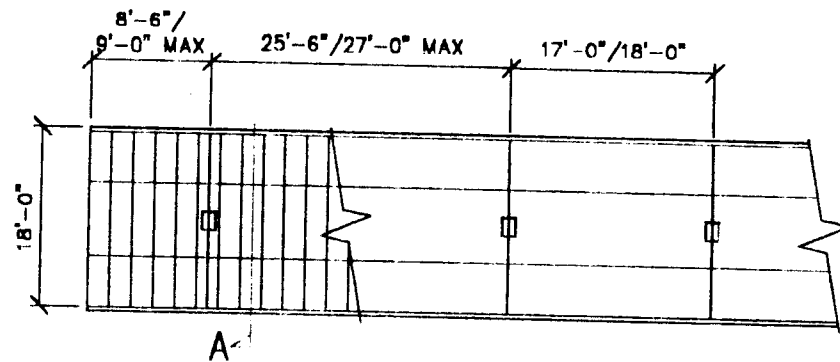
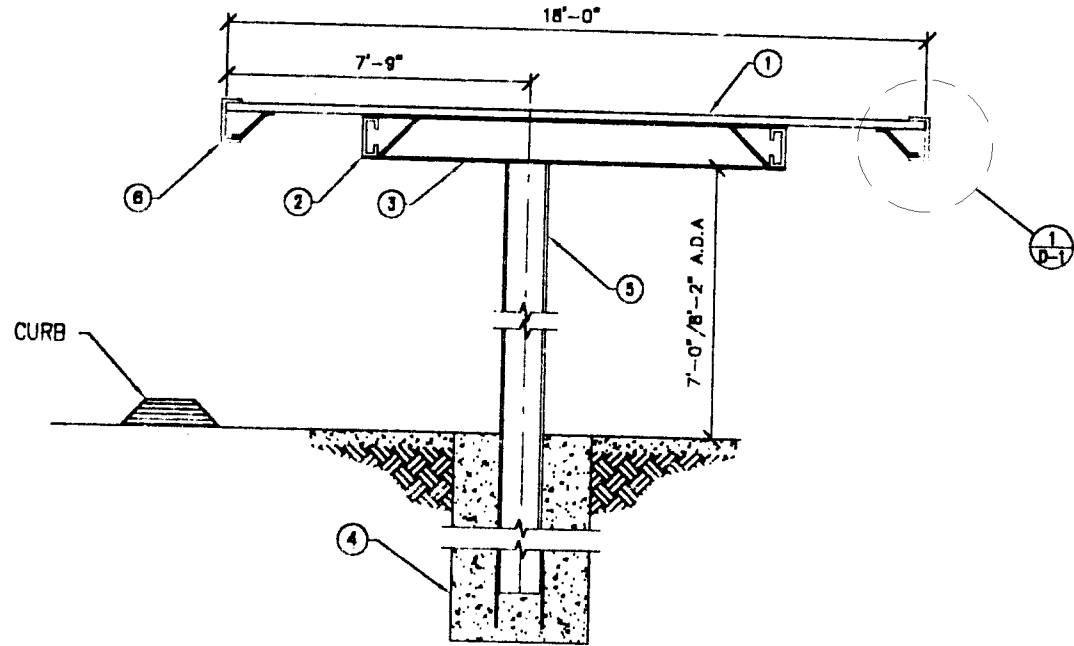
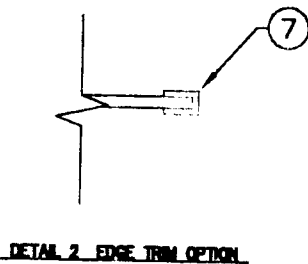
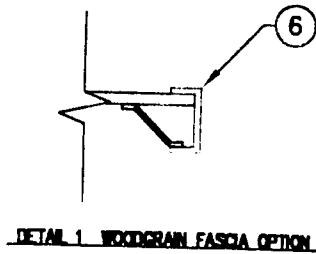
NOT TO SCALE

Skyline Steel, Inc.



18' BOX-BEAM SEMI-CANTILEVERED

631 W. Commerce Ave. Gilbert, Arizona 85233
 480/926-0122 FAX: 480/926-9178
 Lic. No. 085457



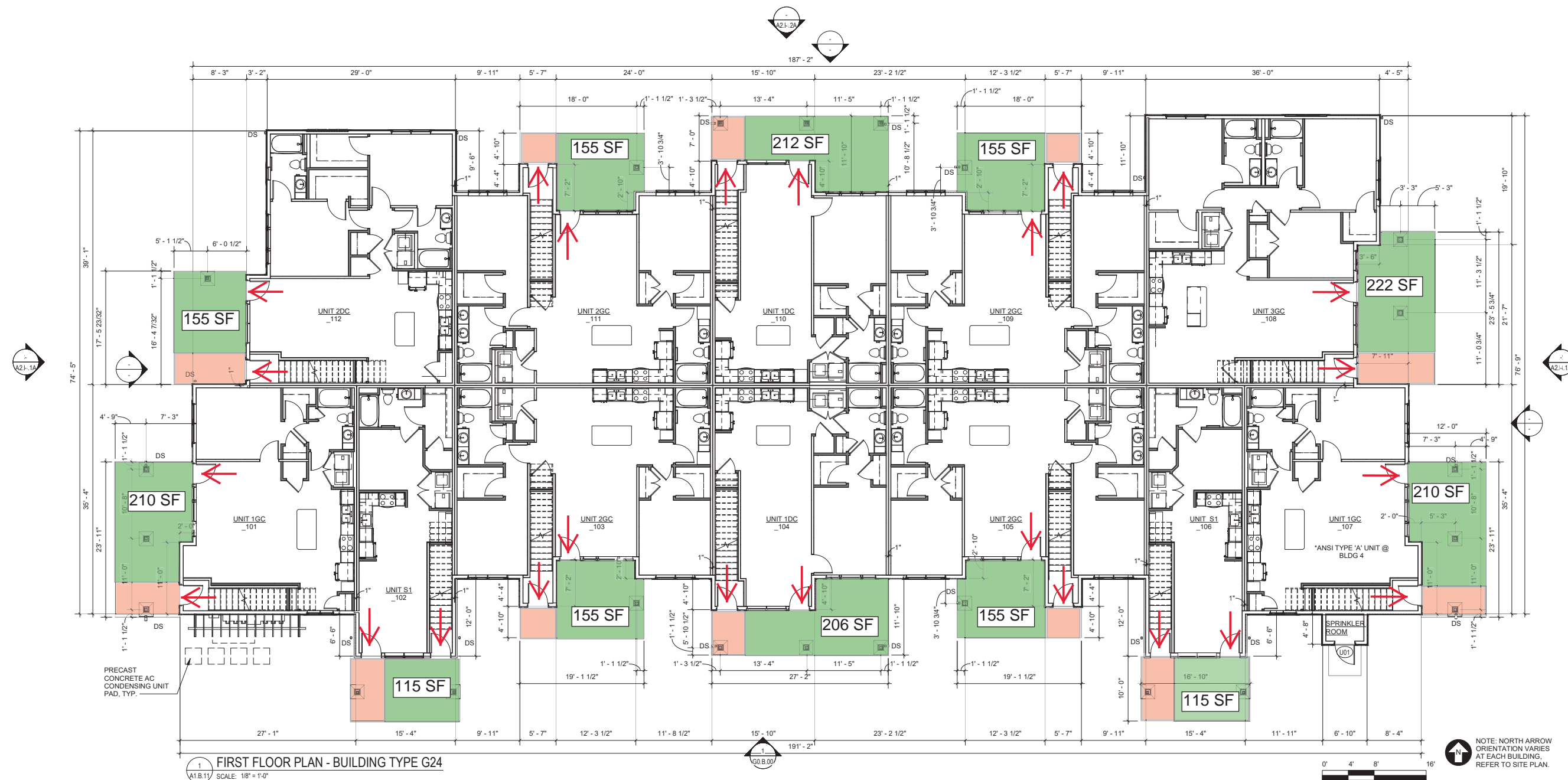
KEYNOTES

1. DECK
2. PURLINS
3. BEAMS
4. POLE FOOTING
5. COLUMNS
6. WOODGRAIN FASCIA (OPTIONAL)
7. EDGE TRIM (OPTIONAL)






Exhibit C

Private Open Space



NOTES:

- 1) EACH FIRST FLOOR UNIT HAS A PRIVATE PATIO SPACE THAT MEETS THE MINIMUM SQUARE FOOTAGE PER MZO BASED ON UNIT TYPE.
- 2) ALL GROUND FLOOR ENTRIES FOR BOTH FIRST AND SECOND FLOOR UNITS ARE COVERED AND SHADED BY EITHER AN OVERHANGING BALCONY OR STANDING SEAM SHED ROOF.
- 3) GROUND FLOOR ENTRIES FOR BOTH FIRST AND SECOND FLOOR UNITS HAVE BEEN SEPARATED TO BETTER DESIGNATE EACH UNIT'S RESPECTIVE ENTRY.
- 4) PRIVATE FIRST FLOOR PRIVATE PATIO SPACE SQUARE FOOTAGE DOES NOT INCLUDE SECOND FLOOR UNIT ENTRY SPACES. ALL GROUND FLOOR PRIVATE PATIOS MEET THE MINIMUM SQUARE FOOTAGE REQUIREMENTS PER MZO EXCLUSIVE OF SECOND FLOOR UNIT GROUND ENTRY SPACES.
- 5) ALL FIRST FLOOR PATIOS ARE SHADED VIA SECOND FLOOR BALCONY OVERHANGS.

-  UNIT/PRIVATE OPEN SPACE ENTRANCE
-  FIRST FLOOR UNIT PRIVATE OPEN SPACE (PATIO)
-  SECOND FLOOR UNIT GROUND ENTRY SPACE

**TWO-STORY BUILDING
BUILDINGS 2, 3, AND 4
FIRST FLOOR**



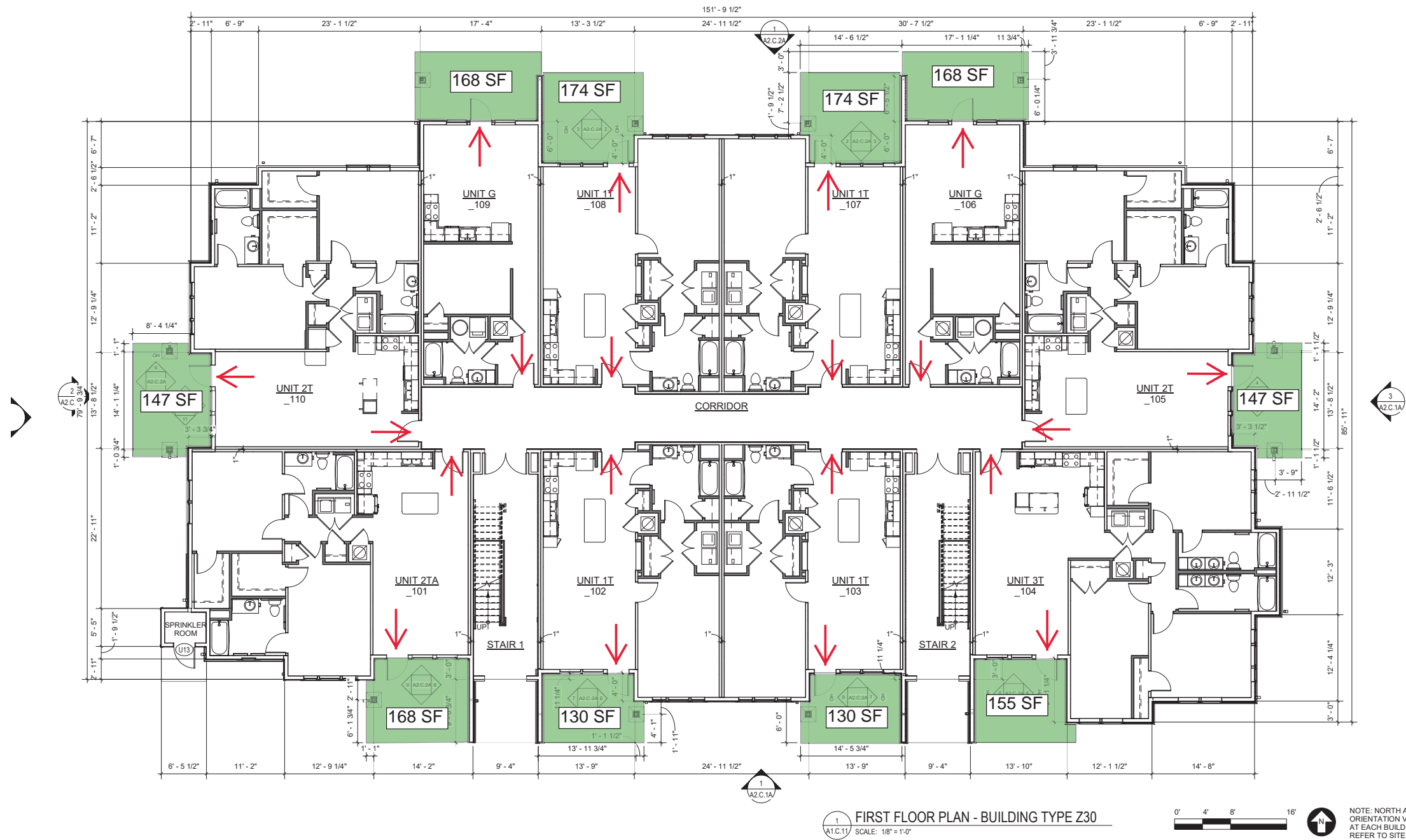
NOTES:

- 1) EACH SECOND FLOOR UNIT HAS A PRIVATE BALCONY THAT MEETS THE MINIMUM SQUARE FOOTAGE PER MZO BASED ON UNIT TYPE.
- 2) ALL GROUND FLOOR ENTRIES FOR BOTH FIRST AND SECOND FLOOR UNITS ARE COVERED AND SHADED BY EITHER AN OVERHANGING BALCONY OR STANDING SEAM SHED ROOF.
- 3) ALL BACONIES ARE SHADED VIA ROOF OVERHANG.

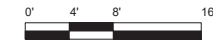
 UNIT/PRIVATE OPEN SPACE ENTRANCE

 SECOND FLOOR PRIVATE OPEN SPACE (BALCONY)

**TWO-STORY BUILDING
BUILDINGS 2, 3, AND 4
SECOND FLOOR**



1 FIRST FLOOR PLAN - BUILDING TYPE Z30
 A1.C.11 SCALE: 1/8" = 1'-0"



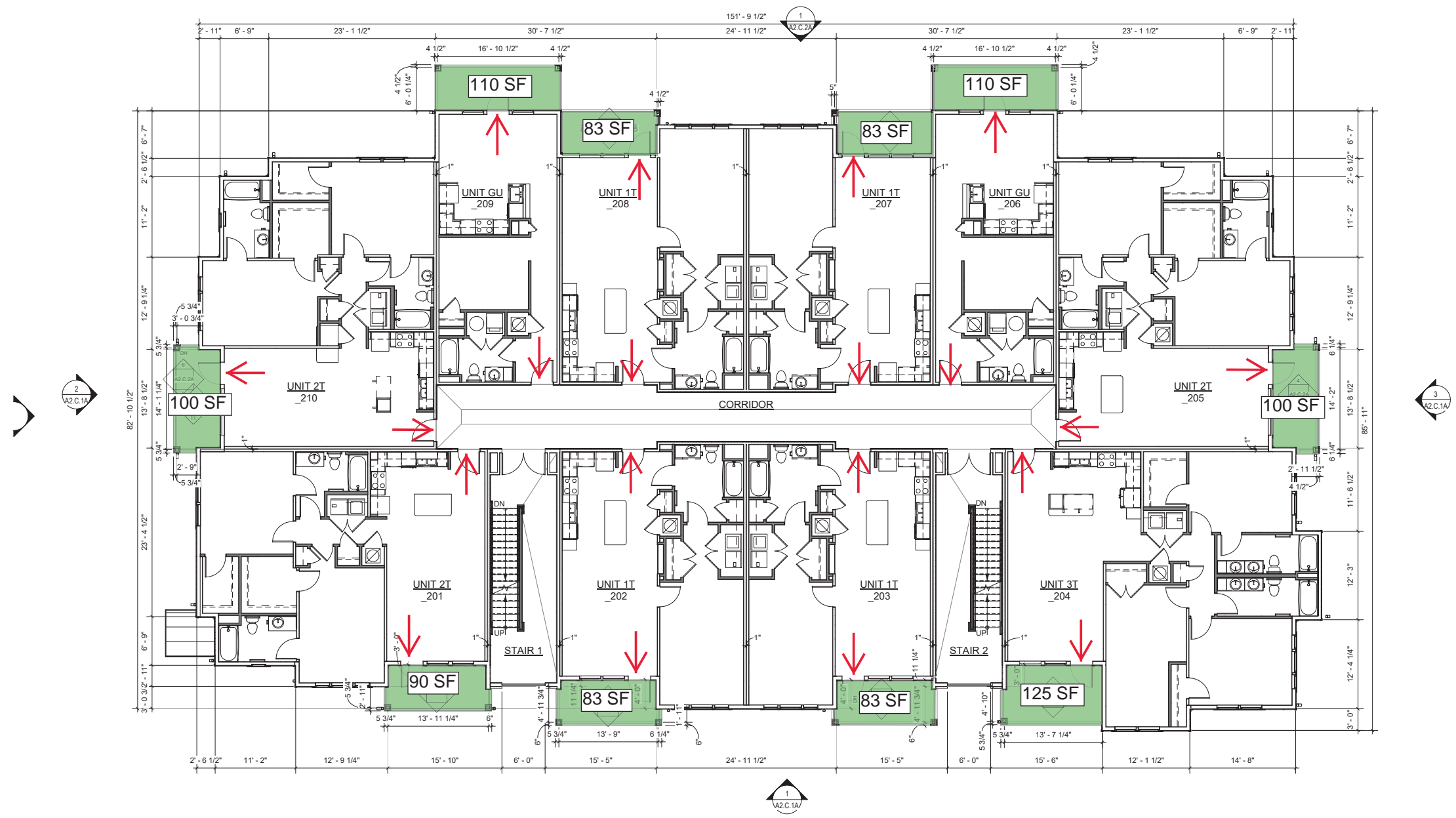
NOTE: NORTH ARROW ORIENTATION VARIES AT EACH BUILDING. REFER TO SITE PLAN.

NOTES:

- 1) EACH FIRST FLOOR UNIT HAS A PRIVATE PATIO SPACE THAT MEETS THE MINIMUM SQUARE FOOTAGE PER MZO BASED ON UNIT TYPE.
- 2) ALL UNITS ARE ACCESSED VIA A SHARED, COVERED CORRIDOR. SHARED CORRIDOR IS ACCESSED THROUGH OPEN AIR ENTRIES ALONG THE STREET-FACING SIDE OF THE BUILDING.
- 3) ALL FIRST FLOOR PATIOS ARE SHADED VIA SECOND FLOOR BALCONY OVERHANGS.

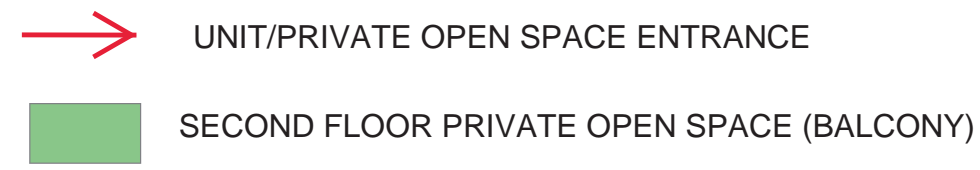
- UNIT/PRIVATE OPEN SPACE ENTRANCE
- FIRST FLOOR UNIT PRIVATE OPEN SPACE (PATIO)

**THREE-STORY BUILDING
 BUILDINGS 1, 5, 6, 7
 FIRST FLOOR**

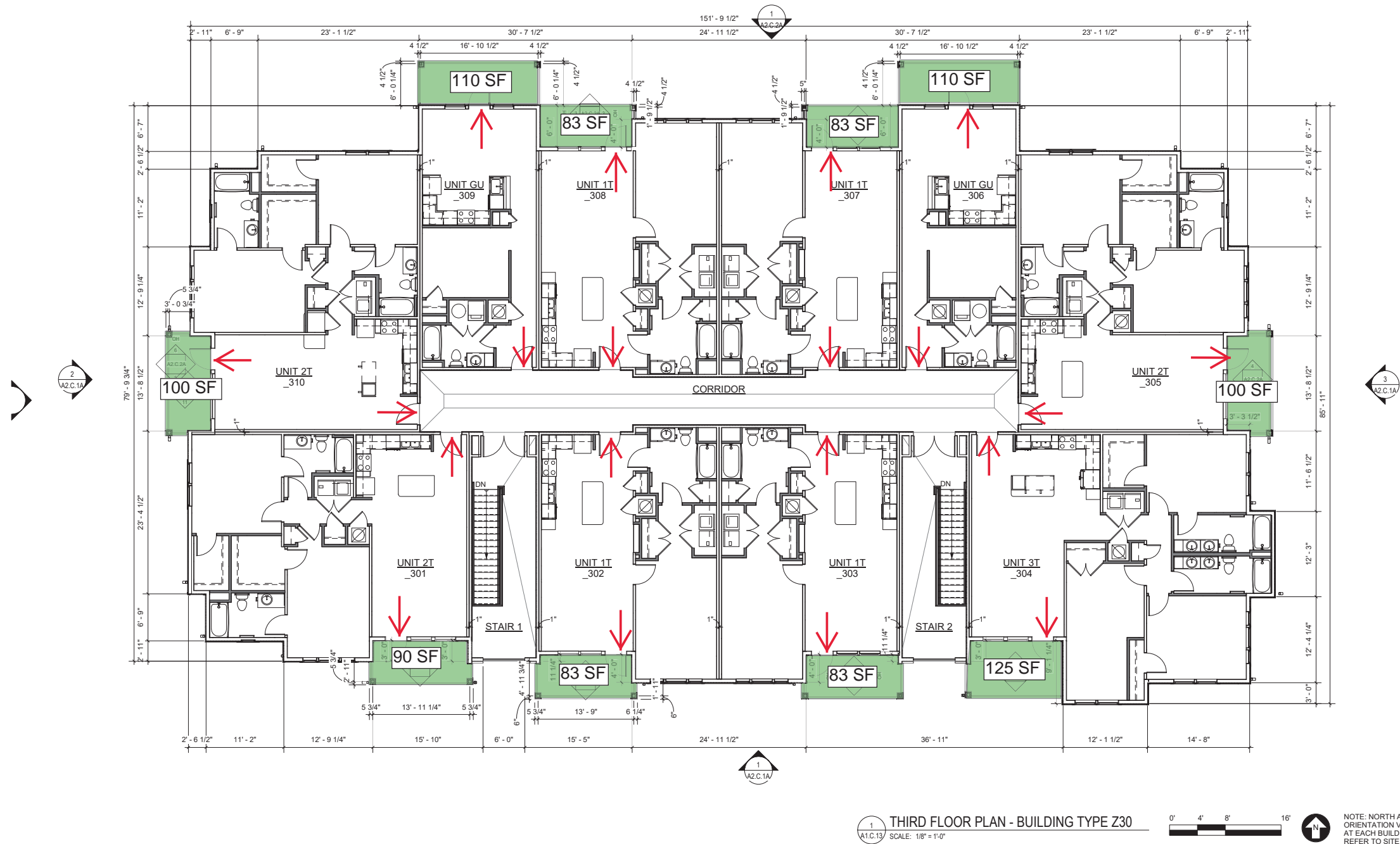


1 SECOND FLOOR PLAN - BUILDING TYPE Z30
 A1.C.12 SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'
 NOTE: NORTH ARROW ORIENTATION VARIES AT EACH BUILDING. REFER TO SITE PLAN.

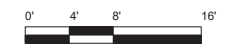
- NOTES:
- 1) ALL UNITS ARE ACCESSED VIA A SHARED, COVERED CORRIDOR. SHARED CORRIDOR IS ACCESSED THROUGH OPEN AIR ENTRIES ALONG THE STREET-FACING SIDE OF THE BUILDING.
 - 2) EACH SECOND FLOOR UNIT HAS A PRIVATE BALCONY THAT MEETS THE MINIMUM SQUARE FOOTAGE PER MZO BASED ON UNIT TYPE.
 - 3) ALL SECOND FLOOR BALCONIES ARE SHADED VIA ROOF OVERHANGS.



**THREE-STORY BUILDING
 BUILDINGS 1, 5, 6, 7
 SECOND FLOOR**



1 THIRD FLOOR PLAN - BUILDING TYPE Z30
 A1.C.13 SCALE: 1/8" = 1'-0"



NOTE: NORTH ARROW ORIENTATION VARIES AT EACH BUILDING. REFER TO SITE PLAN.

NOTES:

- 1) ALL UNITS ARE ACCESSED VIA A SHARED, COVERED CORRIDOR. SHARED CORRIDOR IS ACCESSED THROUGH OPEN AIR ENTRIES ALONG THE STREET-FACING SIDE OF THE BUILDING.
- 2) EACH THIRD FLOOR UNIT HAS A PRIVATE BALCONY THAT MEETS THE MINIMUM SQUARE FOOTAGE PER MZO BASED ON UNIT TYPE.
- 3) ALL THIRD FLOOR BALCONIES ARE SHADED VIA ROOF OVERHANGS.

- UNIT/PRIVATE OPEN SPACE ENTRANCE
- SECOND FLOOR PRIVATE OPEN SPACE (BALCONY)

**THREE-STORY BUILDING
 BUILDINGS 1, 5, 6, 7
 THIRD FLOOR**



Exhibit D

Common Open Space

N POWER ROAD

JACK IN THE BOX

WELLS FARGO BANK

DEL TACO

GOODWILL RETAIL

ALBERTSON'S PHARMACY

CANAL

PROPERTY
10.50 ACRES ±
COMMON
OPEN SPACE
2.33 ACRES ±
22% OF PROPERTY

INDUSTRIAL USE
ZONING SCHEME

Z30
BLDG
7A

Z30
BLDG
1B

Z30
BLDG
6A

G24E
BLDG
2A

Z30
BLDG
5B

G24E
BLDG
3B

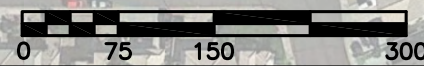
G24E
BLDG
4A

6GS-2

CULVER ST.

EXISTING
SINGLE FAMILY

 = COMMON OPEN SPACE



CONTINENTAL xxx FUND LLC
An affiliate of



11014 106575 Emerald Parkway
Madison Park, WI 53006
Phone: 262-502-5500 Fax: 262-502-5522
Email: cad_jrw@continentalproperties.com

STATE:	DRAWN BY:
AZ	BV
INITIAL DATE DRAWN:	DATE
	12/14/18

CITY:	MESA
STREET:	POWER ROAD & MCDOWELL ROAD

REVISIONS			
REV	DATE	REV	DESCRIPTION

CITY: MESA
STREET: POWER ROAD & MCDOWELL ROAD
SHEET: EX- OPEN SPACE